

**Before an Independent Hearings
Panel Appointed by the
Waimakariri District Council**

Under the Resource Management Act 1991

In the matter of submissions and further submissions in relation to the proposed Waimakariri District Plan

And

In the matter of Hearing Stream 12A: Special Purpose Zone Pegasus Resort

And submission by DEXIN Investments Ltd (DEXIN)

**Statement of Evidence of
James Dickson Lunday
for DEXIN (Submitter 377)**

Dated: 20 May 2024

Amanda Dewar | Barrister

P: 021 2429175
Email: amanda@amandadewar.com
PO Box 7
Christchurch 8140

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INTRODUCTION

1. My name is James Dickson Lunday. I am a practicing urban designer, and principal and founder of Common Ground Studio and recently established Common Ground Southern. This is a multidisciplinary practice focused on Urban Design and Development.
2. I have been engaged by DEXIN Investments Limited (henceforth referred to as **DEXIN**), to provide evidence in relation to urban design matters relevant to the Proposed Waimakariri District Plan (**PDP**) regarding the inclusion of a site at 1250 Main North Road, Pegasus into the Pegasus Resort Special Purpose Zone (**SPZ(PR)**).
3. More specifically, this evidence is in response to urban design matters raised in conjunction with the DEXIN submission, and consequent amendments to several SPZ(PR) provisions, the associated Outline Development Plan (**ODP**¹) and the Pegasus Resort Urban Design Guidelines (**PRUDG**²).
4. The purpose is to enable the development of the 1250 Main North Road site within two new activity areas (henceforth referred to as the **Māketete Site**).
5. The scope of my evidence is outlined below.
6. I have a long history with and am familiar with the **Māketete Site** and have been to the site and surrounds numerous times. This has been both pre and post development of Pegasus Town and subsequent developments.

QUALIFICATIONS AND EXPERIENCE

7. I hold the qualifications of Diploma of Architecture, Bachelor of Arts with First Class Honours, Bachelor of Planning with First Class Honours, a Diploma of Urban Design and a Master of Urban Design (Distinction), the latter both from Oxford Brookes University, England.
8. I have over 45 years' professional experience, 33 of these in New Zealand, in architecture, strategic planning, heritage planning, urban regeneration and urban design, having worked in government, academic and private sector

¹ Found in SPZ(PR)-APP1.

² Found in SPZ(PR)-APP2.

roles. I undertook the Ministry for the Environment *Making Good Decisions Foundation Course* in 2014.

9. I have held the positions of Graduate Architect for City of Glasgow Corporation, Urban Designer/Landscape Planner for the State Government of Victoria, Australia, Director of Urban Regeneration for the Civic Trust, UK, Executive Director of the Auckland Heritage Trust, Senior Lecturer at University of Auckland, General Manager of Regenerate Christchurch, Manager of Urban Design and Heritage at the City of Greater Geelong and Principal of Common Ground Studio.
10. I have been a practicing Urban Designer since 1982, when I was appointed to the position of Urban Designer and Landscape Planner for the Ministry for Planning and Environment, Victoria, Australia. During this time, I was involved in the restructuring of Melbourne with a focus on infrastructure-led economic recovery with the aim of creating Melbourne as the most liveable city in Australia. As part of this I was involved in the regeneration of the Central Business District (CBD) as the centre of retail and culture for Victoria (initiating such projects as the Lanes, and Southbank). In addition, I worked for Townscape Advisory Services to improve the competitiveness of failing provincial town centres, by way of attracting and retaining retail.
11. In 1985 I returned to Europe from Australia to take up the position of Project Director of Regeneration for the Civic Trust, London, in charge of Urban Renewal Projects, with the major focus on the regeneration of failing towns and communities. In 1989 I was appointed to the position of Executive Director of the Auckland Heritage Trust and accepted an Academic position at the University of Auckland.
12. I was a lecturer at the University of Auckland between 1989-2002, within the School of Architecture, Property and Planning, lecturing in landscape planning, urban design, economic development, and heritage planning.
13. I have published extensively in my field, particularly with respect to achieving sustainable urban development. In 2000 I co-authored a book 'Manual for Sustainable Neighbourhood Development' (Christina du Plessus, James Lunday and Pierre Swanepoel – Pretoria, ISBN 0-621-29983-9).

14. I am a past member of the Auckland City Council and Manukau City Council Urban Design Panels and was involved in the establishment of the Queenstown Lakes District Urban Design Panel.
15. In New Zealand I have completed numerous large-scale strategic planning exercises resulting in master planned or urban design-led plan changes, variations, and design projects. Major development projects I have been involved include Pegasus Town, Homestead Bay, Jacks Point, Albany City, Waikanae North, Ngārara Farm, Taupō Eastern Urban Lands, New Lynn Transit Oriented Development, Tāmaki Transit Oriented Development, Glen Eden Transit Oriented Development, the Quad Auckland Airport and a retail expansion of Queenstown and Darwin Airports.
16. I have also been involved in consulting work on major town developments and waterfront redevelopment in Australia, China, Sri Lanka, Australia, and Kuwait. I have been involved in the reconstruction of post-earthquake Christchurch and instrumental in protecting the Christchurch Cathedral.

CODE OF CONDUCT STATEMENT

17. While this is not an Environment Court hearing, I nonetheless confirm that I have read and agree to comply with the Code of Conduct for Expert Witnesses in the Environment Court Practice Note 2023.
18. I am satisfied that the matters which I address in my evidence are within my field of expertise. I am not aware of any material facts that I have omitted which might alter or detract from the opinions I express in my evidence.

SCOPE OF EVIDENCE

19. The scope of my evidence provides the following:
 - (a) Executive Summary
 - (b) Document Structure
 - (c) Background
 - (d) Overview and discussion of proposed amendments.

20. The focus of my evidence is the proposed amendments to the SPZ(PR) provisions resulting from submissions, further submissions and evidence prepared on behalf of DEXIN, and my response to urban design matters raised in the Officer's Report of Ms Jessica Manhire.
21. In respect to the latter, the key sections of the report that discuss urban design issues are 3.2.1.2 – Location and function, Section 3.2.1.4 Transportation, and Section 3.2.1.5 – Character and Amenity, which I will specifically address in my evidence.
22. In response to the above proposed amendments in respect to urban design matters include:
 - (a) Changes to the layout of the **ODP**, henceforth referred to the **Updated ODP**, which I will describe and discuss in more detail, including the rationale for the changes, and the resolution of urban design matters resulting. The **Updated ODP** is appended as **Annexure A** to my evidence.
 - (b) A change to the activity status of the **Māketete Medium Density Residential**, from a permitted to controlled activity status to ensure activation of the Pegasus Resort Urban Design Guidelines (**PRUDG**). An updated version of the PRUDG is appended as **Annexure B** to my evidence.
 - (c) In response to concerns in respect to the visual impact of medium density residential development in the **Pegasus Māketete**, a cap is proposed on the number of residential units (27 in total) allowed within the **Māketete Medium Density Residential** area, with a height limit of 10m and 2 storeys for these residential units.
23. In preparing my evidence I have read and relied on evidence previously presented, and of other experts including Mr Dave Smith, Mr Tim Heath, and Mr Mike Moore. Their advice and that of other experts has also influenced the **Updated ODP** and **Updated Masterplan** for the **Pegasus Māketete**. The **Updated Masterplan** is appended as **Annexure C** to my evidence.
24. Ms Melissa Pearson in her evidence has provided an outline of the pertinent reports and statutory framework, which I have relied upon to underpin my evidence.

EXECUTIVE SUMMARY

25. The aim of the **Pegasus Mākete**, in association with Pegasus resort and its affiliate activities (the adjacent Pegasus Resort Special Purpose zone), is to become a major resort/tourist attraction between Christchurch and Kaikoura.
26. The proposal was developed through a comprehensive and iterative design approach, which has continued through the submissions process. Amendments have been proposed that, in my opinion provide greater certainty as to the quality of urban design outcomes and the quality and efficacy of the proposal overall.
27. The inclusion of the **Pegasus Mākete** into the Pegasus Resort Special Purpose Zone (**SPZ(PR)**) provides a natural extension to, and support of resort/tourism activities within the Waimakariri District. This is while increasing the legibility and level of connection between the Pegasus Golf Resort with Pegasus Town, through well-connected development, creating a more coherent, and well-functioning urban settlement.
28. I consider the proposal will complement the existing character and provide greater housing choice within a resort style living environment.
29. In my opinion the extension to the **SPZ(PR)**, which provides for the **Pegasus Mākete** to be used for tourism resort purposes, is complimentary to Pegasus Golf Resort, and to the wider area.
30. The amendments proposed to the District Plan provisions including to the policy, rules and activity status to ensure the **PRUDG** are upheld, in conjunction with the **Updated ODP**, will ensure development is in accordance with expectations for the zone, contributing positively to the outcomes of the area. Ultimately this will contribute to the character and identity of both existing and future development of the area.
31. I confirm that the amendments made to the **Updated ODP**, and to the provisions that support the **Updated ODP**, including a proposed change in activity status and the cap on residential unit numbers and height in Activity Area 7B, do not alter the conclusions I had reached in the **Urban Design Report**. Rather, in my opinion, the breadth of amendments strengthens the proposal in respect to high quality urban design outcomes, for the extended **SPZ(PR)** to include **Pegasus Mākete**.

DOCUMENT STRUCTURE

32. All documentation directly pertinent to the urban design matters raised in this evidence are Appended. In preparation of this evidence, I have drawn from and note my report *Pegasus Māketē Urban Design Assessment* dated 17/11/2022 (**Urban Design Report**). The purpose of the **Urban Design Report** was to evaluate the final **Masterplan** (which has since been updated) using recognised Urban Design Principles and to propose an outline development plan that with the planning rules and **PRUDG**, would provide certainty of outcome to all stakeholders.
33. The **Urban Design Report** provided an assessment of the proposal as submitted including the **ODP**, and an explanation of the Enquiry by Design Process and Urban Design Principles, which underpinned the design and evaluation of the proposal. The **Urban Design Report** was provided to the Waimakariri District Council (the Council) as part of the **DEXIN** Submission and further submissions to rezone 1250 Main North Road, Pegasus to **SPZ(PR)**. This is known as the **Pegasus Māketē** proposal.
34. In addition to the **Urban Design Report**, I also refer to the updated Outline Development Plan (**Updated ODP**) dated 17/05/2024. This is the amended version of the original **ODP**, discussed in further detail in respect to the Background section of this evidence.
35. The **Updated ODP** and planning provisions for the **SPZ(PR)** are proposed to be reinforced through the **PRUDG** and form part of the District Plan. They are intended to ensure that development within the Pegasus Golf Resort is of a high quality and delivers good urban design outcomes that reflect the Pegasus style, materiality and colour palette.
36. The **PRUDG** include design guidelines specific to the Māketē Village in Activity Area 8 and to the Māketē Medium Density Residential development in Activity Area 7B of the **Updated ODP**. A restricted discretionary activity status applies to 'Māketē tourism activities' occurring in the Māketē Village, which triggers consideration of the **PRUDG**. However, the proposed SPZ(PR) chapter, as submitted in the DEXIN further submission, proposed a permitted activity status for residential activities in the Māketē Medium Density Residential area. This is proposed to be amended to a controlled activity status, as per Annexure A of Ms Pearson's evidence.

37. In addition, appended to my evidence are the updated documents that are the subject of the amendments discussed and further explanatory material.

BACKGROUND

The Vision

38. The aim of the **Pegasus Māketē**, in association with Pegasus Golf Resort and its affiliate activities, is to become a major tourism attraction between Christchurch and Kaikoura. This is intended to increase the potential for visitors to Pegasus Town, Pegasus Golf Course and the future Pegasus Hot Pools and Spa Village, creating a vibrant, multi-use resort with emphasis on golf, tourism and relaxation, while experiencing more broadly the produce the Waimakariri District has to offer.
39. **Figure 1** shows the transformation of the drainage ditch back to the Taranaki stream and wetland. This forms the core of the Māketē Village experience with north facing riverfront craft and artisan village and housing of a village scale on north bank. This will be a celebration of all the best in Canterbury in a village atmosphere.



Figure 1: Artist's impression of the Pegasus Māketē, including the regenerated Taranaki Stream

The Site

40. As discussed in previous reports and submissions, the Māketē Site, 1250 Main North Road, Pegasus is a 3.05 ha rural block located on the corner of Main North Road (State Highway 1) and Pegasus Boulevard. The Site is bounded to the west by State Highway 1, to the southeast and northeast by large residential lots, and to the north, south and east adjoins the Pegasus Golf Course.

41. The Site is within walking and cycling distance (approximately 650 or an 8 minute walk) of the established and proposed facilities associated with the Pegasus Golf Course, and more specifically with Activity Areas 3 and 4 identified in the **Updated ODP**. There is existing provision for walking, cycling and golf buggy access, as well as public transport and private vehicle access, with the potential for further future connectivity, which is outlined in more detail in the **Updated ODP**.
42. The Site is in a landmark position given its location on a major intersection and as the gateway to Pegasus Town and Golf Resort. As such the **Pegasus Māketete** has the potential to contribute significantly to visibility and legibility of both Pegasus Town and Pegasus Golf Resort, while retaining key qualities of its location. I will discuss this further regarding proposed amendments to the proposed **Updated ODP** and **SPZ(PR)** provisions later in this evidence.
43. In addition to its landmark position, the Site is surrounded on three sides (North, East and South) by Pegasus International Golf Course, with Taranaki Stream, a natural asset, dissecting the Site. While currently degraded, Taranaki Stream provides opportunity for biodiversity regeneration, natural connections and mahinga kai. On the stream are the remains / foundations of the original flour mill for the Waimakariri District.
44. The Site is largely flat, with two existing access routes into the site from the west. Adjacent properties and significant tree and underplanting protect the site from prevailing easterly winds.

The Proposal

45. The intent of the DEXIN submission and further submission seeking rezoning of the Site was to absorb the essentially “stranded” lot into the **SPZ(PR)** proposed for the Pegasus Golf Resort. An indicative masterplan was prepared by Dalman Architecture, which I evaluated in my **Urban Design Report**, using recognised urban design principles and an accepted design process. This, and an Enquiry by Design process, resulted in the development of the **ODP** for the **Pegasus Māketete**.
46. The **ODP** was developed in association with the suite of planning rules and (statutory) **PRUDG**, the original version prepared for the **Pegasus Resort** having been notified as part of the Proposed Waimakariri District Plan (PDP). The amendments to the **PRUDG** that were requested in the DEXIN further

submission were all intended to ensure that new development on **Pegasus Māketē** would be integrated with the proposed **SPZ(PR)**, meet good urban design practice, and be complimentary to the surrounding land uses and activities. The updated SPZ(PR) provisions, **Updated ODP** and updated **PRUDG** were also intended to provide certainty in respect to the development outcomes to all stakeholders. These intentions remain.

47. The **Pegasus Māketē** anticipated the following types of activities in the DEXIN further submission:

- (a) Māketē Medium Density Residential (utilising Medium Density Residential Standards (MDRS) introduced by the Resource Management Amendment Act 2021).
- (b) Canterbury wine tasting centre
- (c) Artisan and craft workshops
- (d) Farmers market building
- (e) Educational facilities
- (f) Village green
- (g) Commons.

48. In addition, provision was made in the **ODP** for open space, stream and landscape setbacks, active transport and street connections, and car parking. The layout has been amended in the **Updated ODP** with all these aspects remaining.

OVERVIEW AND DISCUSSION OF AMENDMENTS

49. Located at a major intersection, the **Pegasus Māketē** offers the opportunity to provide a landmark for Pegasus Town and for the Pegasus Golf Resort, increasing their visibility and legibility, and contributing positively to the identity of the township. The **Pegasus Māketē** will provide an important linking activity to the larger scale developments proposed that are more central to the Pegasus Golf Resort and Pegasus Town. In effect the spacing of activities provides a visual and physical journey of discovery through the resort and

surrounds, all accessible by safe, active transport (and buggy) routes, as well as by public and private transport.



Figure 2: Revised Pegasus Māketē Masterplan

50. The location of activity on the site of the **Pegasus Māketē**, identified in the **Updated ODP** and illustrated below, has been amended to address a range of matters including transportation matters arising after consultation with the Council and Waka Kotahi. The latter resulted in the removal of vehicle access to the **Pegasus Māketē** from State Highway 1, except for emergency access. This change, in association with other design matters, has led to a reconfiguration of the **Pegasus Māketē** to provide more separation of activities within the site, while still ensuring a well-connected, coherent and cohesive development outcome.

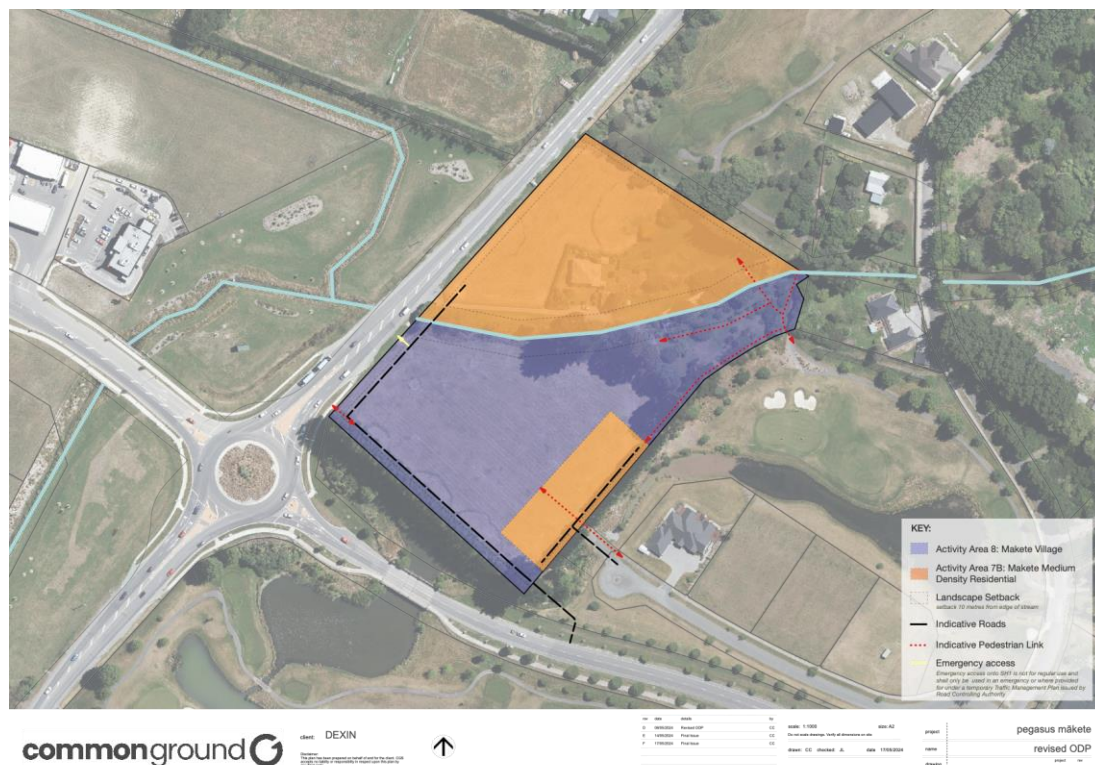


Figure 3: Updated Outline Development Plan for the Pegasus Mākete

51. Key design attributes of the **Updated ODP** include:

- (a) Retention of the landscape setbacks to State Highway 1, Pegasus Boulevard, Taranaki Stream and the adjacent to residential development to the northeast of the **Pegasus Mākete**, with the intention of mostly retaining the open space and park-like character when viewing the development from surrounding sites.
- (b) Vehicle access to the **Pegasus Mākete** from Pegasus Boulevard, with the relocation of car parking to the south of the site as identified in the updated **Masterplan**.
- (c) Location of the Mākete tourism activities closer to the intersection of State Highway 1 and Pegasus Boulevard, contributing to the legibility of the Pegasus gateway, reinforcing the resort/tourism activity purpose of the area.
- (d) Location of residential activity where it better visually relates to existing adjacent residential development, with accompanying private (limited) vehicle access.

- (e) Clustered residential development to the in northern corner of the site, with associated community open space identified in the **Masterplan**, defined by Taranaki Stream. This clustering also lessens the impact of residential activity on low lying areas of the site adjacent to Taranaki Stream, with the **Masterplan** indicating more open space and planting within this vicinity.
- (f) A smaller cluster of residential activity located to the southeast of the **Pegasus Māketē**, adjacent to Burntwood Lane. This residential cluster faces into and directly responds to the Māketē. The residential activity is intended to provide both vibrancy to and direct activation of the Māketē. In addition, the residential cluster provides a residential sleeve to commercial development from residential neighbours to the east, while noting that there is already intervening open space provided by the golf course with #10 Burntwood Lane.
- (g) A pedestrian link is provided from the southern residential cluster to Burntwood Lane, encouraging connection between existing and proposed areas of activity, to provide convenient access for residents and visitors to the resort.
- (h) By way of accompanying provisions to the **Updated ODP**, a cap is proposed on the number of residential units allowed (27 in total, in combination with a reduction in the height limit to 2 storey and 10m), lessening any potential visual impacts of the density and height of development. It is anticipated that any residual visual effects will be managed through a combination of open space provision, site and building design and the landscape response, which are the subject of the **Masterplan** and **PRUDG**.
- (i) Direct pedestrian (walking, cycling and buggy) access from the residential activity to the adjacent streets and pedestrian network, as well as to the activities of the Māketē.

52. In the paragraphs below, I more specifically address the concerns identified in the Officer's Report of Ms Jessica Manhire.

Section 3.2.1.2 – Location and function

53. In respect to Activity Area 7B, providing clustered medium density housing in association with the activities and experience of the **Pegasus Māketete** has, in my opinion, multiple urban design benefits including:
- (a) contributing to the legibility of the Site provided through the clustering of building and like activity, while largely retaining the open space and park-like character when viewed from surrounding sites;
 - (b) providing diversity in housing typology within a resort setting for people wishing to experience resort-style living, whether for example in respect to affordability, life stage, closer sense of community, or for convenience;
 - (c) adding vibrancy and activation to the Māketete, supporting passive surveillance and sense of community, through the movement of people, and their activities and use of areas within the **Pegasus Māketete**.
54. Increases in density are often used in urban centres to support activity and vibrancy, as is the case for example of Pegasus Town. Ms Manhire has raised the issue that the residential development of the **Pegasus Māketete** is potentially too dense for the SPZ(PR), with the assessment given as being up to 40 residential without a minimum lot size to manage this.
55. I have reviewed this potential density in respect to the limitations of the site, in association with the **Masterplan**. I consider that 27 units is a more realistic yield and consider that residential development of the **Pegasus Māketete** could be capped at this, and still achieve the activity and vibrancy desired.



Figure 4: Artist's impression of the medium density residential of the Pegasus Mākete

56. Ms Manhire also considers that there is a lack of consolidation with other areas of medium density residential development. The use of variation in housing density, in this instance for the **Pegasus Mākete**, predominantly duplex and terrace housing, to support tourism and residential activities within resort-style locations, is a well-tested formula.
57. Terrace Downs, Canterbury, Millbrook Resort, Queenstown and to an extent, Hanmer Springs, Canterbury, all offer a variety of housing typologies and differing densities. Each of these examples provide both tourist and residential accommodation. This ranges to varying degrees from more intense apartment-type complexes and hotels, to terrace, duplex and standalone houses. All are within a resort like setting, albeit at different scales, while providing similar resort style/tourism activities.

58. Hanmer Springs has a town centre and a clustering of density in proximity to commercial activities. However, Millbrook and Terrace Downs are both examples where differing densities are clustered and spread throughout the resort, rather than simply have clusters of like-by-like by like density adjacent to each other. This results in a greater spread of people and activation across the resorts and contributes to their character and amenity.
59. Common factors that I consider contribute to the design quality and amenity of the outcome in respect to each of these examples include, the clustering of buildings, provision of quality open space and connections between clusters, and the coherence, yet interest in building form, style, and material.
60. The Pegasus Golf Resort already illustrates the clustering of residential activity (*Figure 5*), with open space and connections between. Albeit at an increased density, the proposed development simply continues this development pattern, while supporting greater efficiency in land use and the activity of the Māketē and activities more widely within the resort.
61. The **Masterplan** and **PRUDG** illustrate these factors, and the characteristics discussed further below, and will in my opinion result in residential development that complements and supports the character of existing residential development, as well as add to the vibrancy and activity of the Māketē.



Figure 5: Existing clusters of development within the Pegasus Golf Resort, with indicative development shown on the Pegasus Māketē and Pegasus Village sites for comparison

62. With respect to Activity Area 8, as noted previously, I consider that spacing of activity clusters through the **SPZ(PR)** proposed for the Pegasus Golf Resort, provides a visual and physical journey of discovery through the resort and surrounds, for both residents and visitors.
63. Activity Area 8 is within walking distance (650m or 8 minutes) or a short buggy ride, from Activity Areas 3 and 4, which are the centre of the resort, with the most substantive development potential. In effect the provision of two activity areas increases movement and activity across the site, acting as anchors, creating more vibrancy and interest within the zone.



Figure 6: Artist's impression of residential and Burntwood Lane Gateway of the Pegasus Māketē

64. Further, there are often benefits associated with a tourism resort or destination having multiple focal points in terms of dispersing visitors across the resort, so not all visitors are trying to access the same place at the same time. There are associated traffic congestion benefits associated with providing multiple access points into a site and providing various parking options. Allowing some tourist activities to spread throughout a tourism resort can also help to maintain amenity levels around some activities that would benefit from having reduced tourism numbers in the immediate vicinity (e.g. around the hot pools and spa/wellness centre). Millbrook Resort provides a good example in this respect.
65. The legible, direct pedestrian routes (walking, cycling and buggy) will provide a visual and physical connection between activities, supported through the design elements identified and iterated through the **Masterplan** and **PRUDG**. The combination of the changes in building height, creating far greater legibility than the existing patterns of development, the physical and visual connections and defined design outcomes, in association with a well-considered landscape approach, will result in a coherent, cohesive environment, that is both visually and physically integrated.

66. In effect, the result is that of Matakana Village meets Millbrook Resort. Both have primary and secondary nodes of activity, one being a village and the other a resort with distinct yet in some ways similar characteristics. Each has a variety of focussed local tourism or resort experiences like those proposed at the Pegasus Golf Resort, supported by residential and tourist accommodation, accessible by safe, active transport (and buggy) routes, as well as by public or private transport.
67. Further, the separation between clusters of activity, in combination with the quality of the architecture and open space, which is particularly notable in relation to Millbrook, and inclusion of points of interest adds to the resort/lived experience. Each of the examples has a distinctive character and identity, one planned, the other an amalgam that has grown incrementally. Both equally as coherent.
68. It is also noted, and applicable to the Pegasus Town and Pegasus Golf Resort, that Millbrook Resort includes a response to the wider District via incorporation of the Queenstown Trails cycle route. Similarly, given the proximity to and layout of the wider area, there is the opportunity to connect the **Pegasus Mākete** to the wider Pegasus Town area, including the township, lake and beach, through a coherent and safe network of pathways, and points of interest.

Section 3.2.1.4 - Transportation and accessibility

69. In regard to urban design and transportation within the context of this proposal, I have discussed the proposed level of connectivity between residential neighbourhoods and activity areas within the Pegasus Golf Resort, including the **Pegasus Mākete**, and beyond, at some length in this evidence. This has been primarily regarding the provision of pathways and their directness, distance and legibility, meaning:
- (a) how efficient is it to go that way,
 - (b) how long does it take to walk, and
 - (c) are the pathways easy to find and to follow.
70. There are however more factors to consider in respect to good provision of active transport and accessibility, including are they safe, do they go where I want to, can I make it that far or is there another choice I can make.

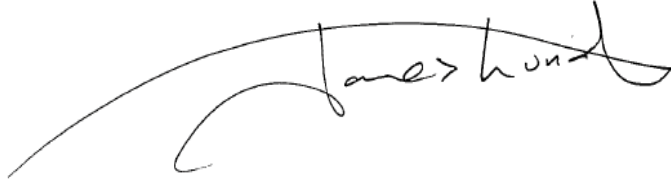
71. The extent of discussion recognises the importance of localised connectivity and accessibility, particularly in respect to walking and cycling, and (as this is a golf resort) the proposed use of buggies, as the key means of transport within the resort, and to the adjacent Pegasus Town.
72. In my opinion, the network of pathways proposed within the **SPZ(PR)** provides for key links between tourism activities, residential use and key facilities and destinations, which provides for a well-connected, well-functioning urban environment. Further, the network of pathways will integrate well with the wider pedestrian and cycle network outside of the resort.
73. Providing for a combination of walking, cycling and buggies provides transport choice and equity, particularly for localised travel. For example, a 5 or 10 minute walk (400m or 800m) is generally considered achievable by most people, with 400m a standard distance to a local play area or pocket park. 800m is a standard walking distance to a bus stop in an urban area. Within environments with points of interest and activity, generally people are willing to walk longer distances.
74. As noted earlier, the distance between the **Pegasus Māketē** and the **Golf Centre** is an approximate 8 minute walk using the proposed pedestrian connections. Cycling and the use of buggies, particularly for people with limited mobility, further extends accessible distance, for example from the **Pegasus Māketē** to the **Golf Centre** and its associated facilities and services.
75. The pathways connecting to and through the SPZ(PR) are in low trafficked or no trafficked areas, contributing to user safety. Further, they are generally bounded by opportunities for passive surveillance i.e. adjacent to residences or activities that overlook the pathways. In addition, a variety of open space, in association with Māketē, other tourist activities and green space, is proposed for public use, which will further add to pedestrian opportunity.
76. Overall, I consider that the level of connectivity provided, including the likely quality of the routes will provide for a well-connected, safe and legible pedestrian environment, with opportunities to connect to the wider pedestrian network.

Section 3.2.1.5 – Character and Amenity

77. As discussed earlier, I consider that, by clustering activity and providing open space between activities as is proposed, the open space and park-like character and consequent amenity will be largely retained.
78. Further to this, the cap on the number of dwelling units to 27, in effect results in a relatively low residential density. This cap, combined with a reduced height limit of 10m and 2 storey, will allow for integration with existing residential development, in association with the landscape approach. The intention of the **PRUDG**, through the design provisions, is to build on and enhance the local character through the design and quality of the buildings and their surrounds.

CONCLUSION

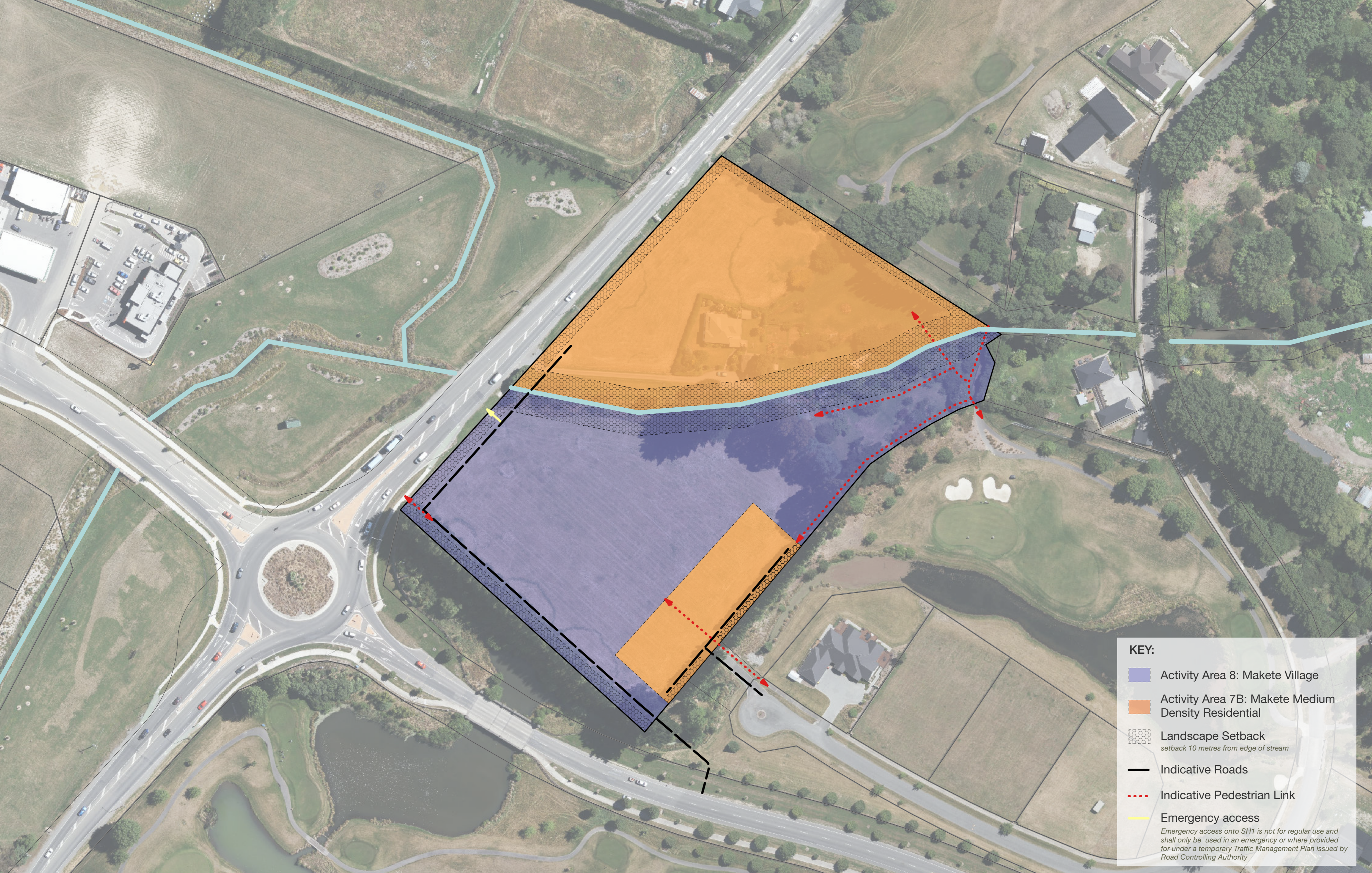
79. The rezoning to enable the proposal for the **Pegasus Mākete** has been through a principles-based, iterative urban design process, to which I have consistently provided urban design expertise, in association with a wide range of experts and stakeholders.
80. The DEXIN Submissions, further discussions and consideration of the Officer's Report, including additional interrogation of the Site resulting in a reduced proposed residential yield, have resulted in what I consider is a well-balanced proposal, which will contribute to the vibrancy, activity and character of the Pegasus Golf Resort and wider area.
81. The proximity of activity areas to each other of the Pegasus Golf Resort, the proposed pedestrian links, aiding accessibility, in combination with well-designed buildings and high-quality open space, will in my opinion result in a well-connected and legible development, that is easy to engage with and move within.
82. The use of the combination of the **Updated ODP**, amended SPZ(PR) provisions (as per Ms Pearson's evidence) and updated **PRUDG** that have statutory weight, will in my opinion result in a coherent and cohesive resort/tourism development, that further supports housing choice within the Resort as a whole.

A handwritten signature in black ink, appearing to read "James Dickson Lunday". The signature is written in a cursive style with a large, sweeping initial "J" and "L".

James Dickson Lunday

20 May 2024

ANNEXURE A
UPDATED ODP



KEY:

-  Activity Area 8: Makete Village
-  Activity Area 7B: Makete Medium Density Residential
-  Landscape Setback
setback 10 metres from edge of stream
-  Indicative Roads
-  Indicative Pedestrian Link
-  Emergency access
Emergency access onto SH1 is not for regular use and shall only be used in an emergency or where provided for under a temporary Traffic Management Plan issued by Road Controlling Authority



rev	date	details	by
D	08/05/2024	Revised ODP	CC
E	14/05/2024	Final Issue	CC
F	17/05/2024	Final Issue	CC

scale: 1:1000 size: A2
Do not scale drawings. Verify all dimensions on site
drawn: CC checked: JL date 17/05/2024

ANNEXURE B

PEGASUS RESORT URBAN DESIGN GUIDELINES (PRUDG)





Document record

Issue	Revision	Author	QA	Date
Draft	V0.6	Zoë Avery	James Lunday	01.10.20
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		Edited by: Nigel Bryce David Ferrari		
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		Edited by: Melissa Pearson Oscar Andrew		

This document meets SLR Consulting's information and document control procedures in accordance with our quality assurance system, independently audited by Telarc under Qbase code 2001. All drawings are preliminary subject to development of design.

Photographs included are design precedents only as indicative look and feel for the design. They do not represent documentation of the design in any way and no ownership of the images or their contents is implied.

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1.0 Introduction

1.1 Context

Manaaki whenua, manaaki tangata, haere whakamua

Care for the land, care for the people, go forward

The following guidelines seek to ensure the development within the Pegasus Resort is of a high quality, delivers good urban design outcomes that reflect the Pegasus style, materiality and colour palette.

Pegasus Resort is located just north of Christchurch and close to the centre of Pegasus town. The resort encompasses an existing parklands-style par 72 – 18 hole championship golf course surrounding residential development and provides for a number of tourist facilities including, but not limited to, a Spa/Wellness and Hot Pool Complex, Hotel, Spa Village, Country Club, Golf Education Facility, associated activities and existing golf driving range, practice greens, pro shop, tennis courts, gymnasium, bar and cafe.

The Pegasus Resort Urban Design Guidelines (PRUDG) are issued by the developers, Sports and Education Corporation (SEC), and are intended to be administered by Waimakariri District Council (WDC). They reinforce the Outline Development Plan (ODP) and planning provisions for the Special Purpose Zone and form part of the District Plan. They contain on-going requirements and purchasers and lot owners must continue to comply with the Urban Design Guidelines.

Pegasus Golf Course was formally opened in 2010. Following an assessment of the potential for a district/regional tourist attraction, planning and design of a larger tourist Pegasus Resort around the existing Golf and Sports Club facilities, car park, driving

range and first two holes was undertaken. This document sets out the design philosophy and guidelines for Pegasus Resort's new central core based around six activity areas which seek to enhance the character of the resort:

- 1. Spa Activity Area** – Hotel, Wellbeing Spa and Hot Pools
- 2. Spa Village Activity Area** – Visitor Accommodation and mixed use
- 3. Golf Square Activity Area** – Country Club and mixed-use retail and hospitality
- 4. Golf Village Activity Area** – Tourism, Education and Hotel
- 5. Village Fringe** – Golf Course, Holes 1 and 2
- 6. Golf Course** – Holes 3-18
- 7. B. Māketē Medium Density Residential**
- 8. Māketē Village**

The limits, controls and guidelines described in this document are set out under the set activity areas and seen as important tools in creating good urban design outcomes for the establishment of a successful new resort whilst protecting the existing appreciated amenity of Pegasus Golf Course. This document also references relevant planning requirements and rules under the Waimakariri District Plan. These Urban Design Guidelines have been created as a framework for Waimakariri District Council's discretion and inform approval decisions.

1.1.1 Updates to the Guidelines

It is envisaged that the Pegasus Resort Urban Design Guidelines will be updated from time to time to reflect lessons learned from completed projects or phases, and changes in the market or regulatory environment.

Context Plan

Ravenswood

Pegasus Golf Course

Lake Pegasus

Pegasus Town

Tūhaitara Coastal Park

Woodend

State Highway 1

Pegasus Boulevard

Ridge Walkway

Gladstone Park

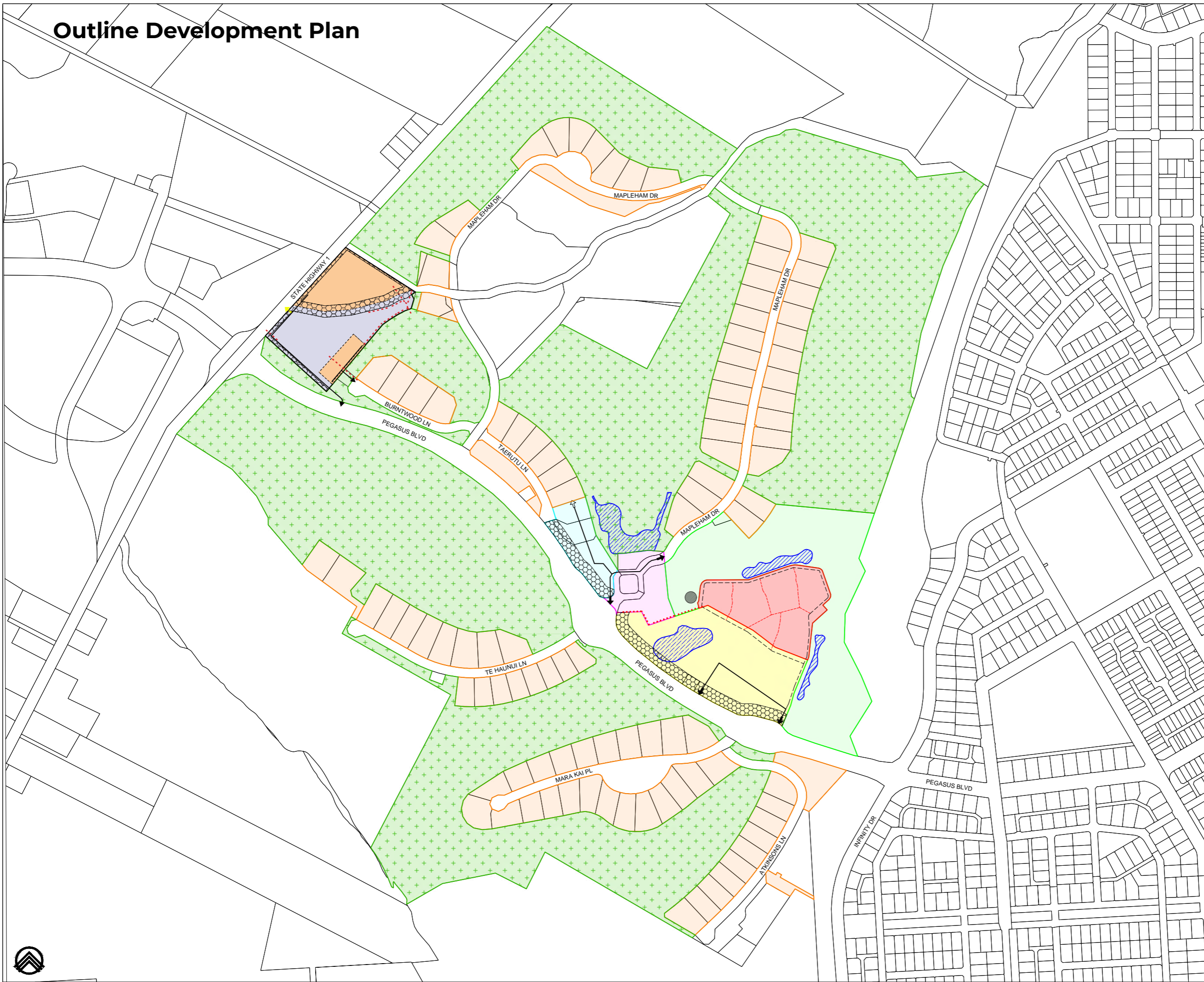
Tūtaepatu Lagoon

0 500 1000 m

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Outline Development Plan



LIMITATIONS:
1. THIS DRAWING IS LIMITED TO 4SIGHT CONSULTING'S WORKS AS CONTRACTED UNDER THE SIGNED OFFER OF SERVICE:

PROJECT NO.:	AA7138
DATE:	17 May 2024
A3 SCALE:	1:6000
A1 SCALE:	1:3000
DESIGN:	JL, ZA, CC
DRAWN:	BC, CC
CHECKED:	JL
APPROVED:	JL

KEY:

	Activity Area 1: Spa (Hotels, Spa and hot pools)
	Activity Area 2: Spa Village (VA + Mixed uses)
	Activity Area 3: Golf Square (Golf Club, Country club + Mixed uses)
	Activity Area 4: Golf Village (Tourism, Education + Hotel)
	Activity Area 5: Village Fringe (Golf Course, Holes 1 - 2)
	Activity Area 6: Golf Course (Golf Course, Holes 3 - 18)
	Activity Area 7A: Low Density Residential
	Activity Area 7B: Māketē Medium Density Residential
	Activity Area 8: Māketē Village
	Existing Ponds
	Proposed Ponds
	Landscaped Setback
	Private Road
	Indicative Roads
	Indicative Shared Space
	Indicative Pedestrian Link
	State Highway Emergency Exit
	Road Access point (Fixed location)
	Road Access point (Indicative location)
	Relocated Helipad

v3.1	17.05.24	FINAL ISSUE
v3.0	13.05.24	FINAL ISSUE
v2.1	27.11.20	FINAL ISSUE
v2.0	28.10.20	FINAL ISSUE
v0.4	08.10.20	FINAL DRAFT FOR APPROVAL
v0.3	14.09.20	FINAL DRAFT FOR APPROVAL
v0.2	28.08.20	FINAL DRAFT FOR APPROVAL
v0.1	14.08.2020	DRAFT FOR COMMENT
REVISION	DATE	DESCRIPTION

FINAL ISSUE



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PROJECT:
PEGASUS GOLF COURSE

CLIENT: SPORTS AND EDUCATION CORPORATION
C/- JOSEPH AND ASSOCIATED LTD

ADDRESS: MAPLEHAM DRIVE, PEGASUS 7648

DRAWING TITLE: OUTLINE DEVELOPMENT PLAN	DRAWING NO.: ODP-01
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Indicative Masterplan Areas 1-6

0 50 100m

Scale 1:1,250 @ A3 V2.2 Date: 28.10.2020



**Indicative Masterplan
Areas 7B-8**

0 50 100m

Scale 1:1,250 @ A3 V2.2 Date: 28.10.2020

1.2 Vision and Objectives

Pegasus Resort is expected to be a high-quality tourist destination which provides a parklands-style par72–18 hole championship Golf Course; Spa/Wellness and Hot Pool facility alongside visitor accommodation, and a complementary Māketē Village visitor destination. These Urban Design Guidelines are intended to assist Pegasus Resort to develop a strong sense of identity through the use of design criteria, building styles, forms, materiality and requirement to deliver high quality private public realm.

Pegasus Resort seeks to achieve a blend of consistency in materiality, palette and theme whilst allowing for originality and innovation in design.

Overarching Objectives for Pegasus Resort are:

- To create a sense of place and maintain a consistency of architecture and landscape that is appropriate for the location. This will be achieved through Tūrangawaewae with the recognition of identity and incorporation of this in the place by establishing the sense of character and quality of the built form and landscape with these guidelines. Reference and consideration shall be made to the Matapopore Urban Design Guide (2015).
- Where a cultural narrative is to be included within built form or landscape design responses these should be advanced through the articulation of Ngai Tuahuriri values. This has to be done by aligning the development values with Ngai Tuahuriri Kaupapa, kia atawhai kite iwi (care for the people), and by following the core principles outlined below;

Whakapapa (Identity and connection to Place);

Mahinga Kai (the knowledge and values associated with customary food gathering places and practices);

- *Mana Motuhake (able to act with independence and autonomy - designed to make all people feel they belong);*
- *Manaakitanga (extension of charity, hospitality, reciprocity and respect);*
- *Ture wairua (creating respectful places and spaces that embrace well-being, have deeper meanings, strengthen connection between mana whenua and their ancestral landscape).*

To allow for a diversity of built form that reflects the intent of each of the activity areas to allow for different kinds of buildings for different uses, appropriate form and pattern of use, movement, and visual variation.

To provide a connected, walkable and accessible resort linking pedestrian walkways and cycleways with the provision of shared paths to public transport/bus stops on Pegasus Boulevard.

To ensure Crime Prevention through Environmental Design (CPTED) has been considered and safety demonstrated in the design.

To ensure design is environmentally sustainable and innovative, to create places that protect and enhance natural features, water quality, ecosystems, culture and heritage, with reduced energy use and waste production.

The resort in itself is a visitor attraction and therefore the architecture, public realm and landscape must reflect this.

The guidelines and controls in this document are important tools in protecting and enhancing the amenity of Pegasus Resort.



1.3 Activity Area Objectives

Pegasus Resort is made up of Eight activity areas which are described below with specific objectives detailed below. The key differences between these activity areas are the types of development enabled in each area (as guided by the Outline Development Plan (ODP)) and the extent to which key activities such as Commercial Golf Resort Activities and Visitor Accommodation can occur. This recognises that some activity areas predominantly perform functions relating to the existing golf course, while others will enable other major tourism related activities, and to allow each of these areas to develop a distinct character guided by these guidelines.



Activity Area 1 – Spa provides for the new 'district' of tourism activities, centered around the development of a Spa and Hot Pool Complex, aimed at being a regionally significant tourism destination. This complex necessitates and provides for other activities that support the visitor experience, for example, a landmark Hotel defining the main entrance to the golf course on the corner of Pegasus Boulevard and Mapleham Drive. There is a substantial need for car parking to support the activities of this zone. The masterplan shows a heavily landscaped car park. The intent is that cars sit within a landscape rather than landscape sitting in a carpark. At some point there may be more demand for further tourism activities and car parking will need to be provided in a structure.

The specific objectives for Spa Activity Area are:

- To ensure design of the spa, hot pools, pools, hotel, car parking and associated built form is that of a 'campus style' development where buildings are set within a landscape.
- To require all built form, including at-grade parking or parking buildings to be appropriately modulated to ensure visual variation in the façades of buildings and or parking to be adequately screened or landscaped.
- To encourage landscaping that reflects the surrounding natural landscape and is appropriate for the area, enhancing the amenity and biodiversity of the area.



Activity Area 2 – Spa Village provides for a range of supporting commercial and visitor accommodation activities that will allow for visitors to the tourism district to cater for their stay in a unique pedestrian environment. It will provide for visitor accommodation opportunities as an alternative to a hotel experience as well as commercial golf resort activities set out in accordance with the ODP to create 'village' sense of place. The Spa Village will not provide for residential activities or other commercial activities typically associated with a neighbourhood or local centre – any commercial resort golf activity will need to demonstrate a link to supporting the key tourism activities provided for in Pegasus Resort.

These guidelines are intended to provide The specific objectives for Spa Village Activity Area are:

- To ensure the village creates an intimate, human scaled and cohesive environment.
- To ensure a provision of a variety of self-catering living/bedrooms units in the visitor accommodation.
- To provide for enclosed perimeter blocks that encourage active transport and prioritise pedestrians through the use of green streets and an active edged main street.

- To ensure that the public realm encourages 'eyes on the street', interaction and space for collective enjoyment by fronting living environments to the street.
- To create a public realm that encourages use and interaction.
- To encourage varied design within a palette of materials and finishes.
- To create a village with a level of convenience that retains strong connections to the surrounding landscape.
- To ensure streets are defined by buildings with modulation of roof lines and forms.
- To encourage verandas and awnings where appropriate to enhance the streetscape and pedestrian environment.
- To place vehicular access points away from pedestrian oriented Village street edges.
- To ensure the Village is walkable.
- To ensure fronts and backs of buildings are provided – with blocks having a sense of enclosure and spatial clarity.



Activity Area 3 – Golf Square contains the existing golf club facilities. The design of these buildings has set the tone and character for the built form of Pegasus Resort. This area includes a Country Club and associated activities directly related to the operation of the golf course.

The specific objectives for Golf Square Activity Area are:

- To ensure the Golf Square creates a Golf Club hub environment that builds on the existing architecture of the golf club and reads as a coherent place.
- To ensure any buildings or structures within the Golf Square provide active edges or activation of the public realm for example through hospitality and retail.



Activity Area 4 – Golf Village is a development area for activities that support the primary golf course activity. Activities enabled by the ODP include an already consented Hotel and a Golf Education Facility. These are to reinforce the Golf Course and enclose the Golf Square.

The specific objectives for Golf Village Activity Area are:

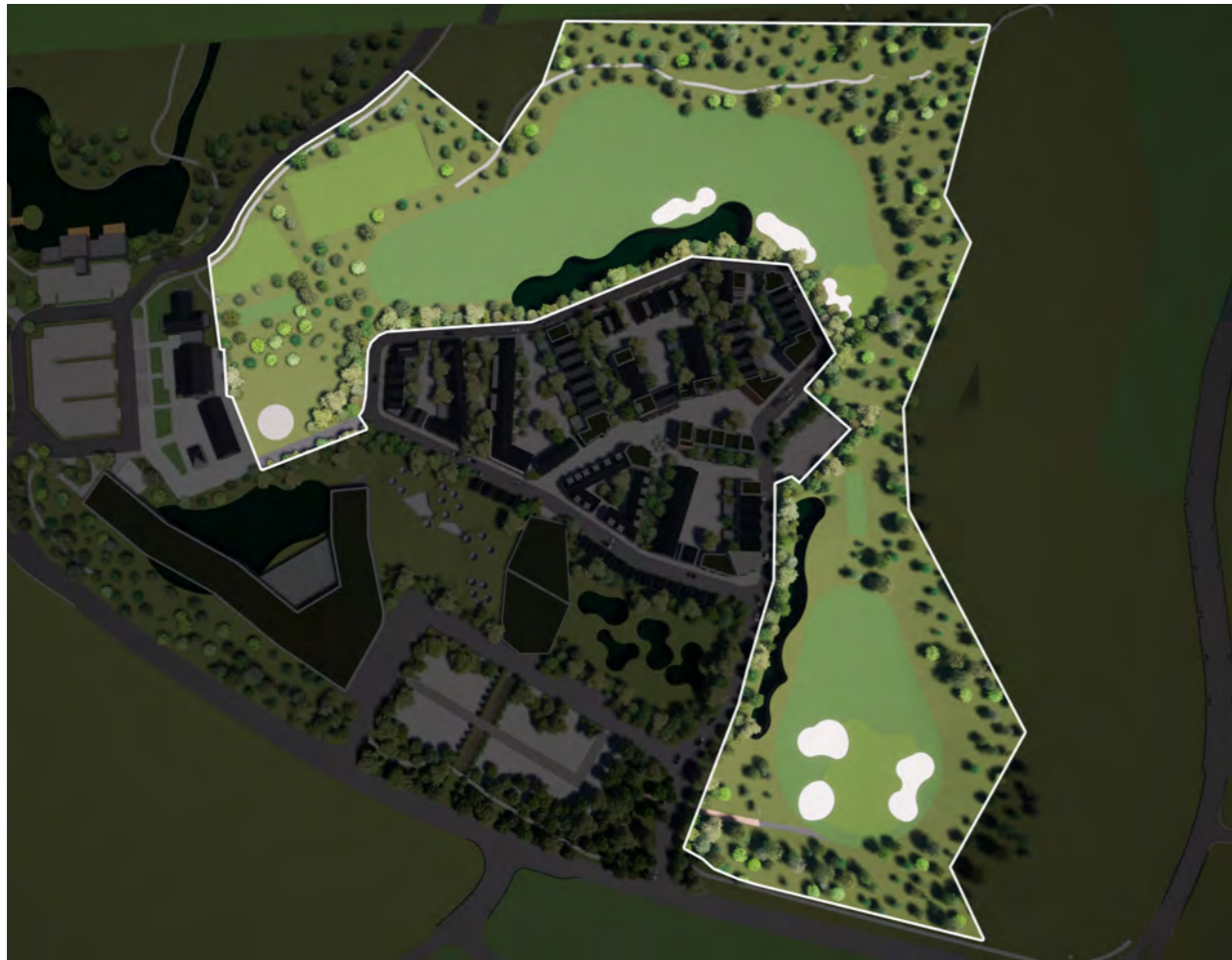
- To consolidate the parking in a formal landscaped environment that reduces its visual impact.
- To enclose the Square with buildings and activities which define the space.
- To ensure that other parts of the Village Resort are well and safely connected to the square with pedestrian and cycleways.



Activity Area 5 – Village Fringe is an active part of the existing golf course, however it has been identified as a separate activity area as it needs to provide for the relocation of two golf holes in order to enable the development of Activity Areas 1 and 2. It also serves as a buffer area between Visitor Accommodation and Commercial Golf Resort activities found in the Spa Village and the larger lot residential properties located to the north.

The specific objectives for Village Fringe Activity Area are:

- To maintain the existing status and par level when development occurs by replacing the location of golf holes 1 and 2 to the Village Fringe area.
- To provide separation from the Spa Village through the use of landscaping with ponds, wetlands and landscaped swales to preserve the amenity appreciated by golfers and protect the village through carefully aligning the fairway.
- To enhance the amenity and biodiversity with the introduction of a range of native planting into the golf course.



Activity Area 6 – Golf Course contains the balance of the existing golf course not covered by the Village Fringe Activity Area and enables the ongoing operation and development of this course as a Major Sports Facility.

The specific objective for the Golf Course Activity Area is:

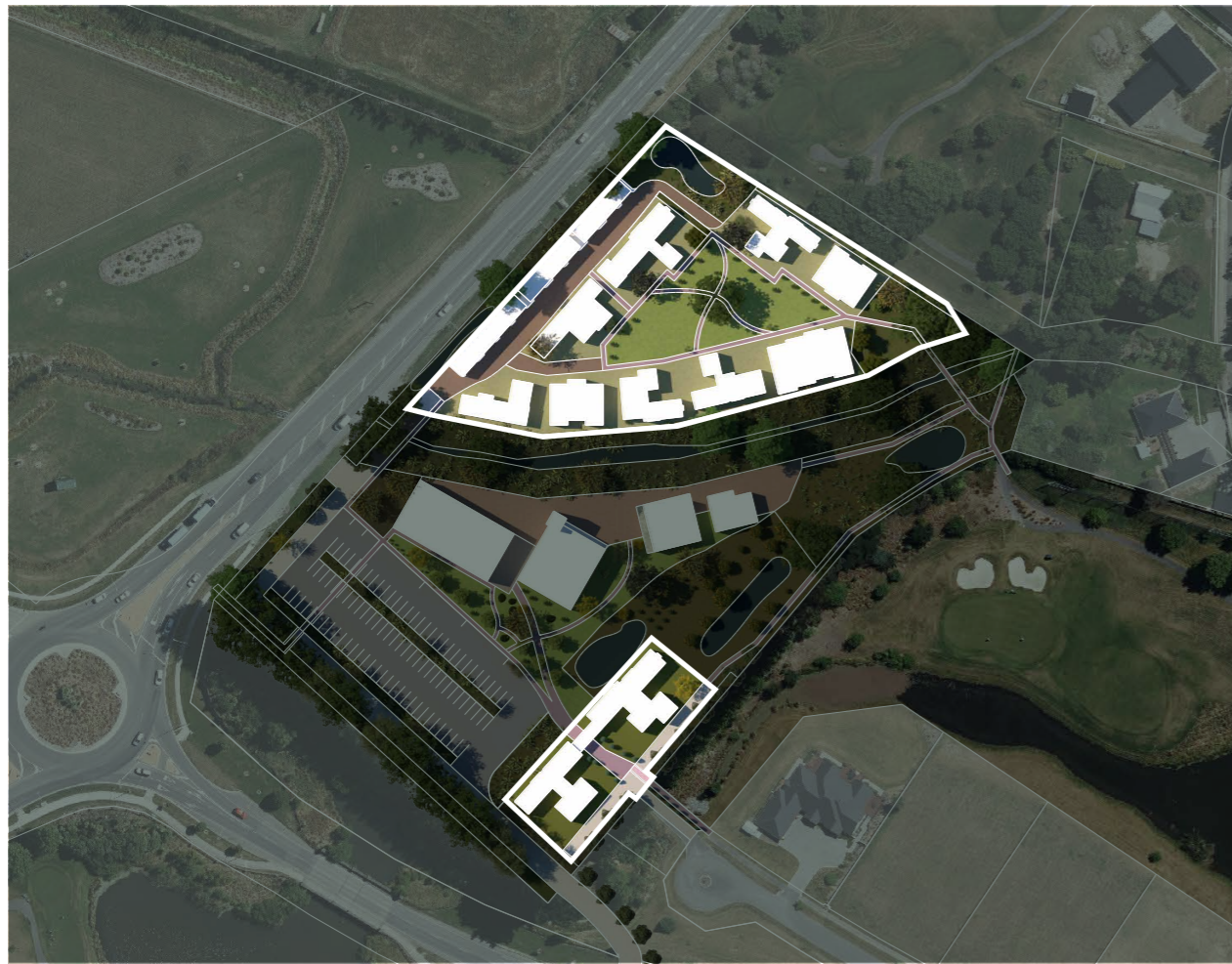
- To continue to provide for the 18-hole golf course and its maintenance and operation.



Activity Area 7B - Māketē Medium Density Residential provides for medium density residential activity on to the north of the Māketē Village. This area provides for developments and a mix of stand alone duplex and terrace style residential dwellings with a high level of design quality in a landscape setting.

The Specific Objectives for the Māketē Medium Density Residential Activity Area are:

- To provide a variety of high quality stand alone duplex and terraced house typologies, with a connection to the surrounding facilities including the Māketē, Village, hot pools, Hotel and Golf Course.
- To require all built forms to be appropriately modulated to ensure visual variation in the façades of buildings.
- To ensure that other parts of the Māketē Village are well and safely connected to the Medium Density Residential Area with pedestrian and cycleways



Activity Area 8 – Māketē Village provides for a range of tourism and supporting commercial activities that will provide a visitor destination to complement Pegasus Resort. The foundation of the village will be a market area to provide for local producers to directly retail produce and to provide spaces to develop and enhance waahi taonga and mahinga kai. The area will be supplemented by small scale commercial food and beverage operations and visitor attractions that will showcase local fine arts, artisan crafts, cultural activities and historical interpretation, which will reflect the important cultural values of the area. Educational and entertainment experiences for visitors will focus on sustainability, food

production, crafts, local history and cultural heritage.

There is a need for car parking to support the activities of this zone. The ODP shows the carparking placed in the southern portion of the site with a landscape buffer between the carparking and the road. This is intended to have low mounds with mostly low-level native planting and some larger trees. The interior of the site including the Māketē is intended to have pedestrian access only.

The Specific Objectives for the Māketē Village Activity Area are:



- To ensure the development creates an intimate, human scaled and cohesive environment with buildings providing activation to the public realm.
- To ensure the buildings are adjacent to a landscaped 'Village Green' which provides open space for recreation and can cater for a variety of outdoor events.
- To encourage verandas and awnings where appropriate to enhance the streetscape and pedestrian environment, and to provide a variety of outdoor seating and recreation spaces to provide shelter in different weather conditions.

- To require all built forms to be appropriately modulated to ensure visual variation in the façades of buildings.
- To encourage varied design within a palette of materials and finishes.
- To provide a range of entertainment and educational activities relating to themes of agriculture, horticulture, food production, winemaking, museum/historical interpretation, sustainability, arts, crafts and culture.
- To provide a space for local producers and makers to sell and promote their products.

- To develop and enhance waahi taonga and mahinga kai opportunities through developing spaces for culturally authentic entertainment and educational activities and through landscaping and biodiversity enhancement projects.
- To encourage landscaping that reflects the surrounding natural landscape and is appropriate for the area, enhancing the amenity and biodiversity of the area, and to protect the ecology and amenity of the existing creek.
- To minimise the impact of carparking by requiring extensive landscaping within and around the carpark and to create

a safe pedestrian environment in the interior of the site by limiting vehicular traffic to the perimeter.

- To ensure that other parts of the Pegasus Resort are well and safely connected to the Mākete development with pedestrian and cycleways.
- To retain historical and cultural artifacts and provide interpretative displays relating to the history of the site.
- To develop the design that has regard to Ngai Tuahuriri development values and cultural narrative.



Artistic rendering of Activity Areas 7B & 8 only - not to exact scale or layout of final development.



Concept Impression

2.0 Built Form

2.1 Design Considerations

The built form design considerations are intended to encourage a diversity of built form that will complement the overarching objectives of Pegasus Resort. Each of the Activity Areas have a different set of guidelines which aim to weave together to ensure Pegasus Resort:

- Maintains an appreciated amenity surrounding an international golf course;
- Complements the existing landscape and locale;
- Has diversity of built form and outdoor spaces;
- Has different buildings which do not overlook or overshadow one another, that respect the overall pattern of fronts, backs and sides;
- Connects with and enhances the architecture of the existing golf course club rooms and buildings;
- Provides variation of façades and appropriate visual scale through use of recesses and materiality adjoining the golf course and public realm (such as Pegasus Boulevard);
- Defines each of the activity areas and their associated uses; and
- References the local historical and cultural context, including working alongside mana whenua to provide authentic reflections of cultural values

2.2 Form + Massing Controls

The built form and massing of structures within Pegasus Resort have differing controls for each of the Activity Areas to ensure a consistency in scale and form is achieved to foster a sense of distinct character in each of the activity areas.

2.2.1 Spa Activity Area

The Spa district provides for tourism activities, centred around the development of a wellness Spa and Hot Pools with an associated landmark hotel building. Buildings within this area will be larger than that typical of the area and as such need to set within a landscaped environment.

2.2.1.1 Coverage Controls: Spa Activity Area

Maximum Site Coverage	35%
Minimum Landscape Coverage	40%
Maximum Paved / Impermeable Coverage	25%

2.2.1.2 Maximum Building Height: Spa Activity Area

Maximum Building Height – 16m, 3 storeys.

2.2.1.3 Building Setback: Spa Activity Area

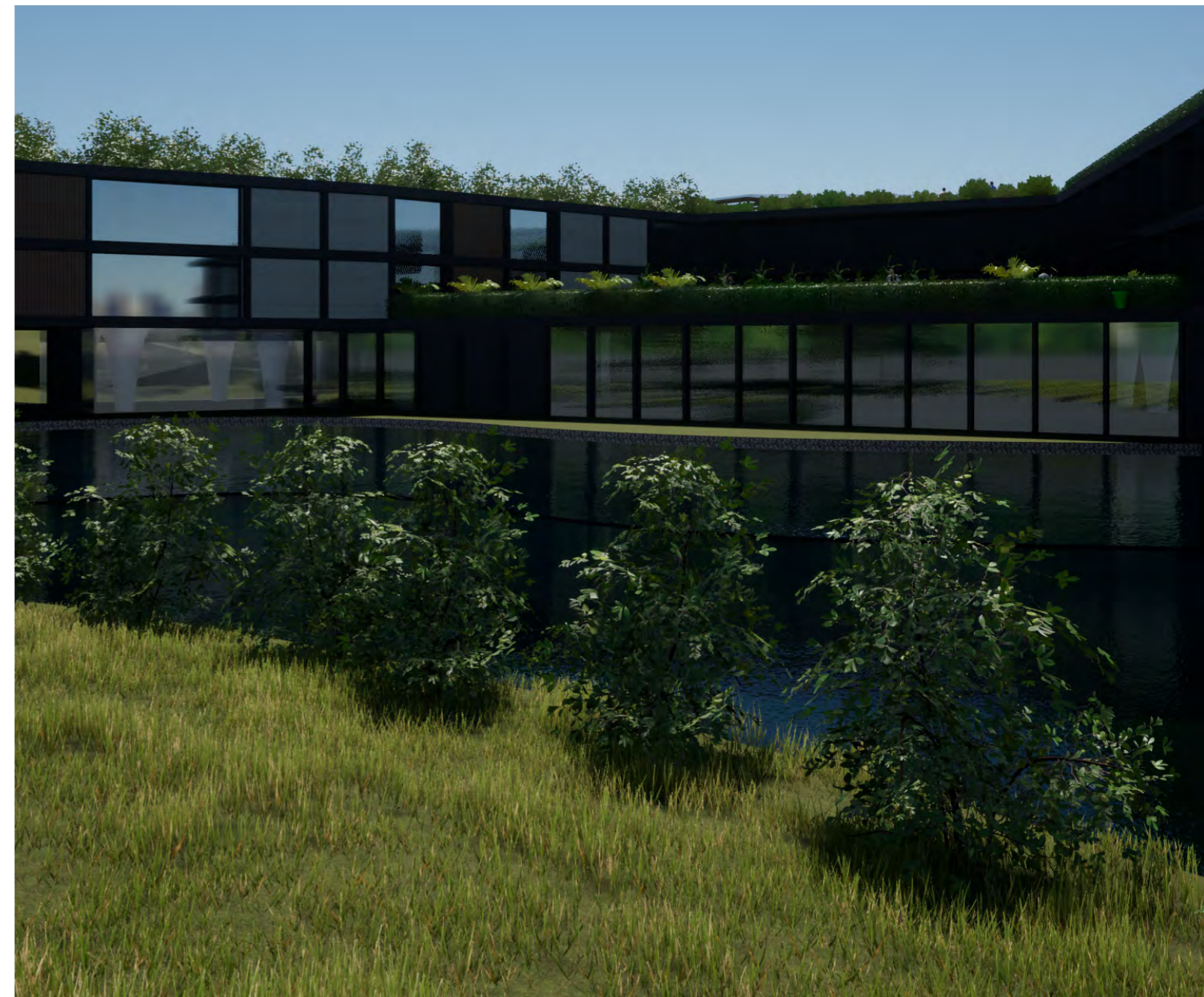
A minimum landscaped building setback of 20m shall be provided adjoining Pegasus Boulevard. Within this buffer zone mounding is encouraged and shall be on average 1m in height, of a natural shape and contour and planted with species as defined in section 3.

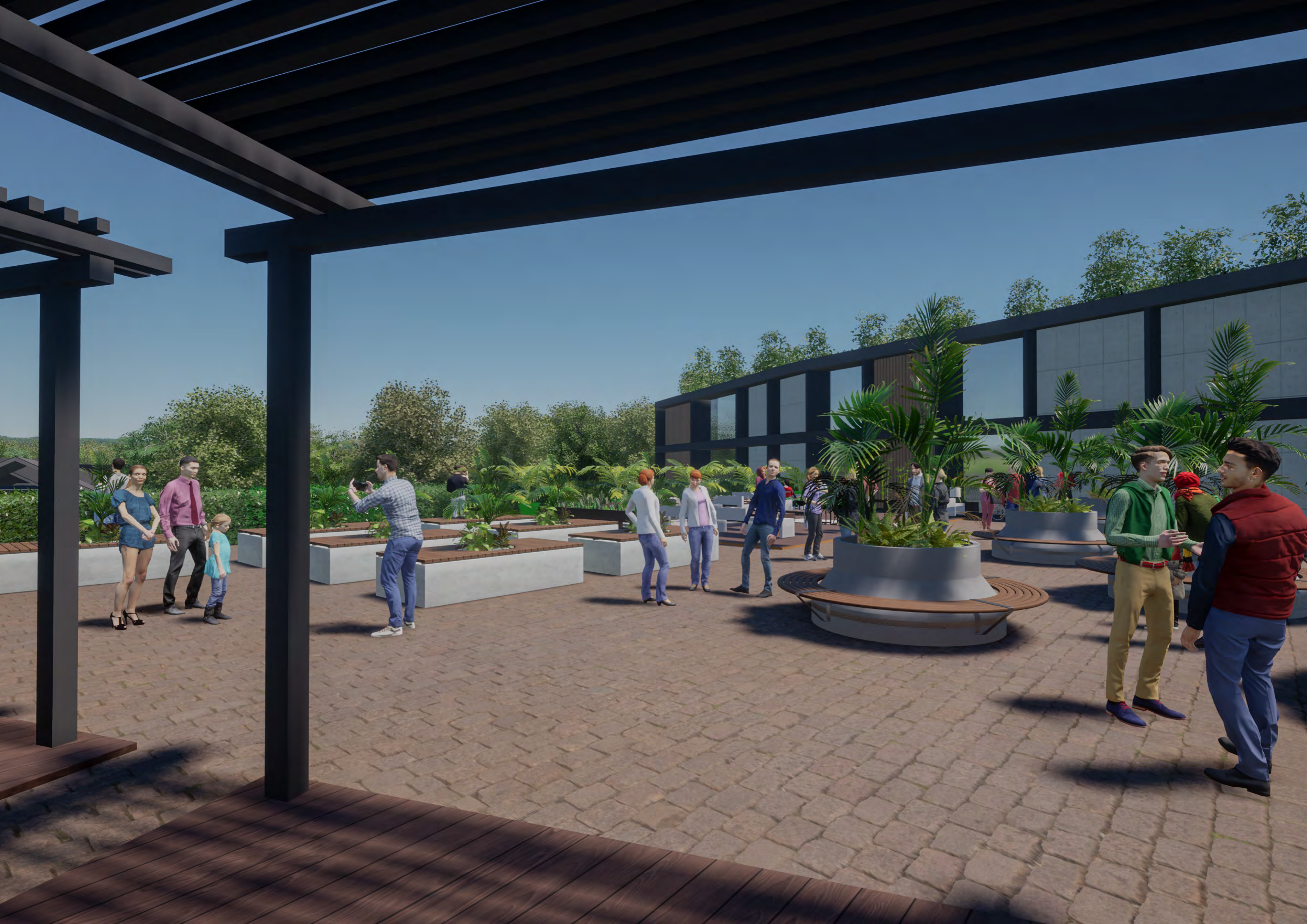
Planting in this area shall be designed and established to mitigate (screen, soften and balance) the visual impact and dominance of adjacent built form and any car parking areas. Planting within this area shall include at least 1 tree capable of reaching 15m height every 12m. These trees are to be at least 2.5m in height at the time of planting.

2.2.1.4 Modulation of Buildings: Spa Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length. This can be done through the use of recesses, gable end projections, chimney's, balconies, and the use of façade variation and materials (including the incorporation of living facades or walls). Blank facades are to be avoided.

At least 30% of the setback area is to be planted with locally appropriate native species (see Section 3.3). Planting plans for this area shall specify the grades of plants to be planted and demonstrate how a timely landscape impact shall be achieved. These plans shall also include the proposed measures to provide for successful establishment and appropriate on-going management.



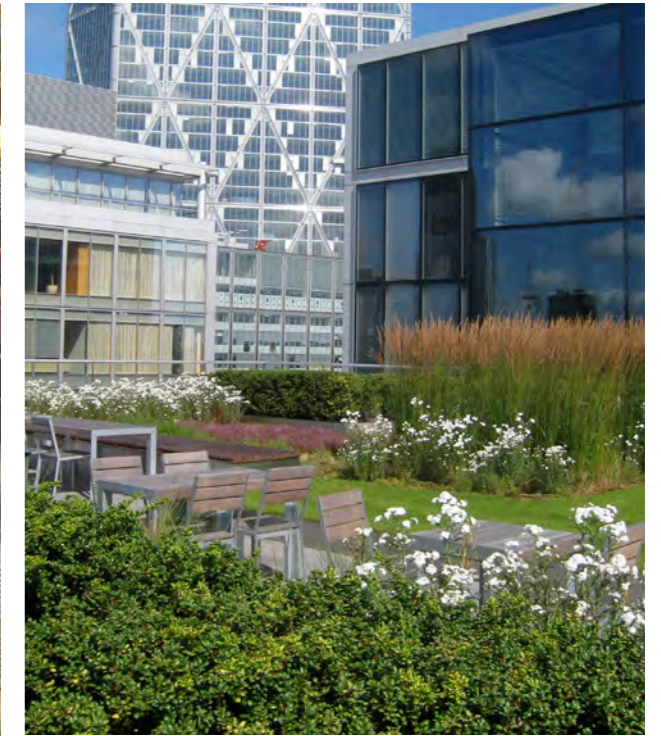
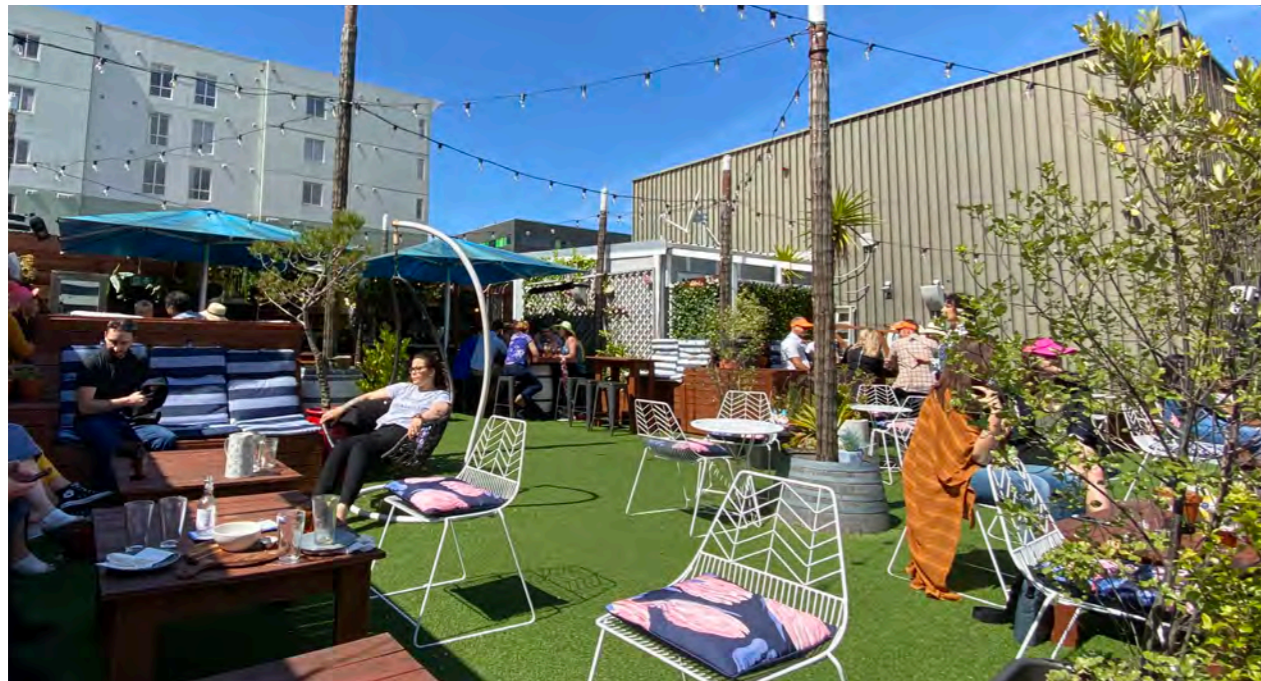


2.2.1.5 Roofs: Spa Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form.

- Flat roofs will be permitted within the Spa Activity Area, especially where these roofs are accessible and/or living roofs.
- Domes enclosing pools will be permitted if demonstrated that they are nestled into the landscape, do not use mirrored glazing or materials and are non-reflective.
- Buildings with a footprint over 2,000m² must include a living roof. For the purpose of activating a living roof (for example with a café or bar) a pavilion building may be able to exceed the maximum height limit by no more than 4m (measured from the finished floor level of the living roof), up to a maximum of 30% of the building footprint.

- All other buildings will follow a simple roof form that follow the architectural design of cottages, villas or pavilions. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- It is recommended that simple roof forms are used.
- Mono-pitched roofs, exceeding 20% of the building footprint can be incorporated with a minimum pitch of 5° and maximum of 10° where the combination of roof forms is minimal.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour or Resene Heritage Colour.
- Steel tray cladding/roof, Profiled Steel, Coloursteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- Down pipes and gutters will be in a colour matching the roof.



2.2.1.6 Wall Cladding: Spa Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

- Fine faced concrete block for not more than 30% of the total exterior façade wall cladding;
- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade, wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;
- Natural timber cladding, vertically cladded, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%; and
- Joinery, guttering, and downpipes should match roof colours.

Corrugated Iron or Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.1.7 Windows and Doors: Spa Activity Area

The aim of these controls is to ensure a cohesive design is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.

2.2.1.8 Building Projections: Spa Activity Area

The use of verandas, porches and pergolas are encouraged to enhance the outdoor spaces provided for all year round use. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.
- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.



2.2.1.9 Car Parking: Spa Activity Area

Car parking controls aim to reduce the adverse effects of at-grade carparking or car parking buildings on Pegasus Resort and to ensure this space does not dominate or significantly detract from the landscaped quality of the area.

- Large 'at-grade' car parking spaces should be avoided to ensure views from surrounding public spaces of Pegasus Resort are maintained.
- Car parking buildings shall be appropriated modulated through façade treatment to ensure that they do not inappropriately undermine the character of Pegasus Resort and adjacent areas.
- Organic patterning of vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer.
- Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.
- Best practice urban design solutions should be used to avoid the dominance of car parking areas, including sleeved, green roofed, underground, rear courtyard, screened or recessed parking.
- Coach/bus parking areas shall be appropriately landscaped.



2.2.2 Spa Village Activity Area

The Spa Village provides for an intimate and human scaled visitor accommodation experience with commercial activities allowing visitors to cater for the stay at the resort. The village will create a unique pedestrian environment centred around a small main street and active public realm.

It is important that the Spa Village creates:

- a public realm that encourages walkability, use and interaction.
- a built form with varied palette of materials and finishes.
- a level of convenience for users which retains strong connections to the surrounding landscape.
- streets that are defined by buildings with modulation of roof lines and forms.
- space for pedestrian activation of the street utilising verandas and awnings.
- a pedestrian oriented Village that has enclosure and spatial clarity.

2.2.2.1 Coverage Controls: Spa Village Activity Area

Maximum Site Coverage	35%
Minimum Landscape Coverage	40%
Maximum Paved / Impermeable Coverage	25%

2.2.2.2 Maximum and Minimum Heights: Spa Village Activity Area

Maximum Building Height – 12m, 3 storeys
 Minimum Building Height – 6m, 1 storey

2.2.2.3 Building Setback: Spa Village Activity Area

A maximum building setback of 2m shall be provided adjoining the ring road to allow for verandas and recesses. Within this set back area activations spaces are encouraged to provide passive surveillance and 'eyes on the street'.

2.2.2.4 Visitor Accommodation: Spa Village Activity Area

The minimum visitor accommodation unit size excluding garages, carports, balconies, and any communal lobbies stairwells and plant rooms will be:

Studio apartment	25m ²
1 Bedroom	35m ²
2 Bedroom	50m ²
3 Bedroom	80m ²

Private outdoor living space for each unit of 6m² and a minimum dimension of 1.5m.

2.2.2.5 Retail and Ancillary Activities: Spa Village Activity Area

These areas are to be specifically located in the portions of the buildings that will create activation of main thoroughfares, the Spa Village main street, connections from the Spa Activity Area and Golf Square to the Village.

Retail is to be located only on a main street with larger buildings located on the corners of street blocks.



2.2.2.6 Modulation of Buildings: Spa Village Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length in the village. This can be done through the use of façade variation, materials (including the incorporation of living facades or walls), recesses, gable end projections, chimney's, and balconies.

Blank facades are to be avoided.

All building forms should be modulated and varied with a rich mix of heights and roof forms and breaks in building typologies.

2.2.2.7 Roofs: Spa Village Activity Area

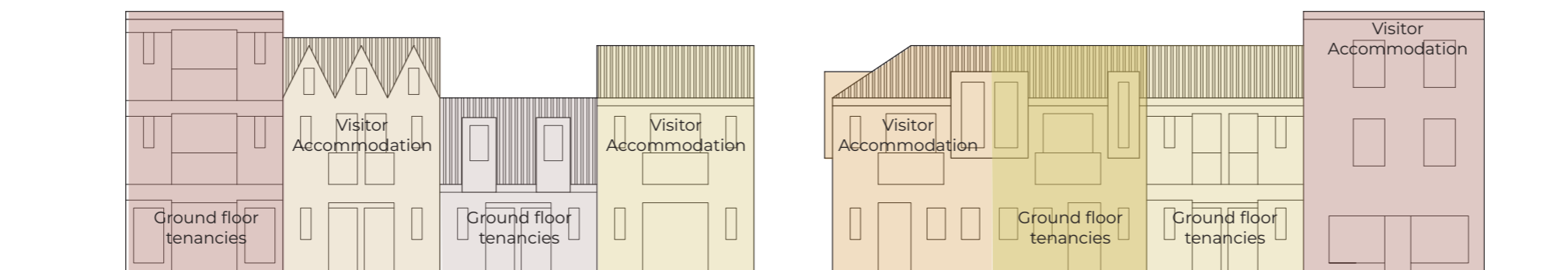
The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form.

- All buildings should follow a simple roof form that follow the architectural design of cottages, villas or pavilions. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- It is recommended that simple roof forms are used.
- Mono-pitched roofs, exceeding 20% of the building footprint can be incorporated with a minimum pitch of 5° and maximum of 10° where the combination of roof forms is minimal.
- Lean-to structures are permitted and shall have a minimum roof pitch of 15° and a maximum pitch of 35°.
- Flat roofs that connect and link pitched roofed pavilions are acceptable but will

generally not exceed 30% of the total roof area of the activity area. These roofs are encouraged to be accessible and/or have a living roof.

- No hip roofs are permitted.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour.
- Steel tray cladding/roof, Profiled Steel, Coloursteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand;

- Lignite; High Tide; Charcoal or Karaka.
- A second roof finish to a secondary form such as a garage or lean-to may be permitted where it can be satisfied that the overall design will benefit from this feature.
- Down pipes and gutters will be in a colour matching the roof.
- Dormers are permitted and must be treated with same material as main roof.



Typical Main Street

2.2.2.8 Wall Cladding: Spa Village Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

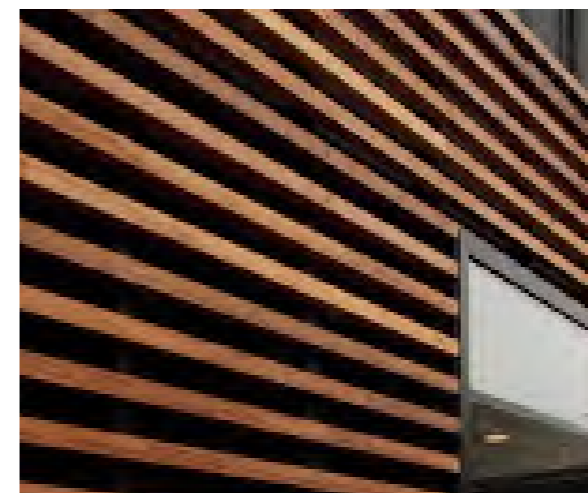
- Fine faced concrete block for not more than 30% of the total exterior façade wall cladding;
- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;
- Natural timber cladding, vertically cladded, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%; and
- Joinery, guttering, and downpipes should match roof colours;

Corrugated Iron or Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.2.9 Windows and Doors: Spa Village Activity Area

The aim of these controls is to ensure a sense of human scale is achieved throughout the Village in Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.
- Garage doors are to be timber stained or painted and in a recessive colour.



2.2.2.10 Building Projections: Spa Village Activity Area

The use of verandas, porches and pergolas are encouraged to enhance the outdoor spaces provided for all year round use and encourage active frontages. These controls aim to ensure that the public realm encourages 'eyes on the street', interaction and space for collective enjoyment by fronting living environments to the street. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.
- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.



2.2.2.11 Car Parking: Spa Village Activity Area

Car parking controls aim to reduce the adverse effects of at-grade car parking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- Vehicular access points shall be located away from pedestrian oriented Village street edges.
- Large 'at-grade' car parking spaces should be avoided to ensure views from surrounding public spaces of Pegasus Resort are maintained.
- Car parking buildings shall be appropriately modulated through façade treatment to ensure that they do not inappropriately undermine

the character of Pegasus Resort and adjacent areas.

- Organic patterning of vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer.
- Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.
- Best practice urban design solutions should be used to avoid the dominance of car parking areas, including sleeved, green/living roofed, underground, rear courtyard, screened or recessed parking.
- Garage or carport design must be of a similar material as the main building.
- Garage doors and vehicle manoeuvring areas addressing the street shall be avoided.



2.2.3 Golf Square Activity Area

The Golf Square provides for an international champion golf course hub with the existing golf club and its facilities, a Country Club and associated activities (such as hospitality and retail) that directly related to the operation of the golf course. These activities surround and enclose a Golf Square that is required to be safely connected to other parts of Pegasus Resort via a network of walkways and cycleways encouraging active transportation.

2.2.3.1 Coverage Controls: Golf Square Activity Area

Maximum Site Coverage	20%
Minimum Landscape Coverage	30%
Maximum Paved / Impermeable Coverage	50%

2.2.3.2 Maximum Building Height: Golf Square Activity Area

Maximum Building Height – 9m, 2 storeys

2.2.3.3 Building Setback: Golf Square Activity Area

A minimum building setback of 5m shall be provided adjoining Pegasus Boulevard. Within this setback landscaping is encouraged to create an aesthetic entrance to the Resort and planted with species as defined in section 3.

2.2.3.4 Modulation of Buildings: Golf Square Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length in the Golf Square. This can be done through the use of façade variation, materials (including the incorporation of

living facades or walls), recesses, gable end projections, chimney's, and balconies. Blank facades are to be avoided.

2.2.3.5 Roofs: Golf Square Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form of the Pegasus Golf Club.

- All buildings should follow a simple roof form that follow the architectural design of the Pegasus Golf Club. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- Mono-pitched roofs, exceeding 20% of the building footprint can be incorporated with a minimum pitch of 5° and maximum of 10° where the combination of roof forms is minimal.
- Lean-to structures are permitted and shall have a minimum roof pitch of 15° and a maximum pitch of 35°.
- No hip roofs are permitted.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour.
- Steel tray cladding/roof, Profiled Steel, Colursteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- Down pipes and gutters will be in a colour matching the roof.



2.2.3.6 Wall Cladding: Golf Square Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Golf Club part of the Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;
- Natural timber cladding, vertically cladded, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%;
- Stone to match the existing golf club façade;
- Joinery, guttering, and downpipes should match roof colours;

Corrugated Iron or Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.3.7 Windows and Doors: Golf Square Activity Area

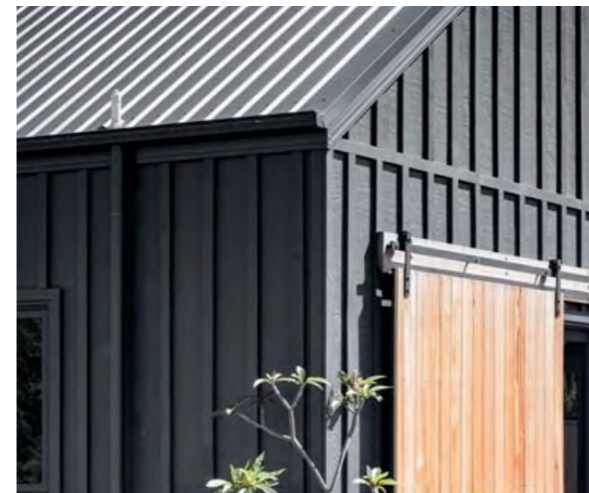
The aim of these controls is to ensure a sense of human scale is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.
- Shed or Garage doors are to be timber stained or painted and in a recessive colour.

2.2.3.8 Building Projections: Golf Square Activity Area

The use of verandas, porches and pergolas are encouraged to enhance the outdoor spaces provided for all year round use and encourage active frontages. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.
- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.



2.2.3.9 Car Parking: Golf Square Activity Area

Car parking controls aim to reduce the adverse effects of at-grade car parking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- The 'at-grade' car parking forming the central square should be treated in semi-permeable surface and landscaped to ensure views from surrounding public spaces of Pegasus Resort are maintained. This space should be versatile to function as a central square if required to for an event or extension of public realm to the surrounding uses.
- Car parking buildings are not considered appropriate for the central square. If at any point this is deemed to be a requirement, the central open square shall be retained and any building shall be appropriated modulated through façade treatment to ensure that it does not inappropriately undermine the character of Pegasus Resort and adjacent areas.
- Organic patterning of vegetation shall

be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer.

- Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.
- Best practice urban design solutions should be used to avoid the dominance of car parking areas, including sleeved, green/living roofed, underground, rear courtyard, screened or recessed parking.
- Shed or garage doors and vehicle manoeuvring areas addressing the street shall be avoided. These buildings must be compatible with the main building using similar materials.

2.2.4 Golf Village Activity Area

The Golf Village provides for activities that support the champion golf course activity including a hotel and a Golf Education Facility that enclose the Golf Square creating an active hub. The Golf Village is required to be safely connected to other parts of Pegasus Resort via a network of walkways and cycleways encouraging active transportation.

2.2.4.1 Coverages Controls: Golf Village Activity Area

Maximum Site Coverage	35%
Minimum Landscape Coverage	40%
Maximum Paved / Impermeable Coverage	25%

2.2.4.2 Maximum Building Height: Golf Village Activity Area

Maximum Building Height – 14m, 3 storeys

2.2.4.3 Building Setback: Golf Village Activity Area

A minimum building setback of 20m shall be provided adjoining Pegasus Boulevard, 3m to the north-western boundary adjoining residential land use, and 5m adjoining the Golf Course Activity Area. Within these setbacks, landscaping is encouraged to create an aesthetic entrance to the Resort and planted with species as defined in section 3.

- 20m adjoining Pegasus Boulevard. Within this buffer area mounding is encouraged and shall be on average 1m in height, of a natural shape and contour and planted with species as defined in section 3. Planting in this area shall be designed and established

to mitigate (screen, soften and balance) the visual impact and dominance of adjacent built form and any car parking areas. Planting within this area shall include at least 1 tree capable of reaching 15m height every 12m. These trees are to be at least 2.5m in height at the time of planting. At least 30% of the setback area is to be planted with locally appropriate native species (see Section 3.3)

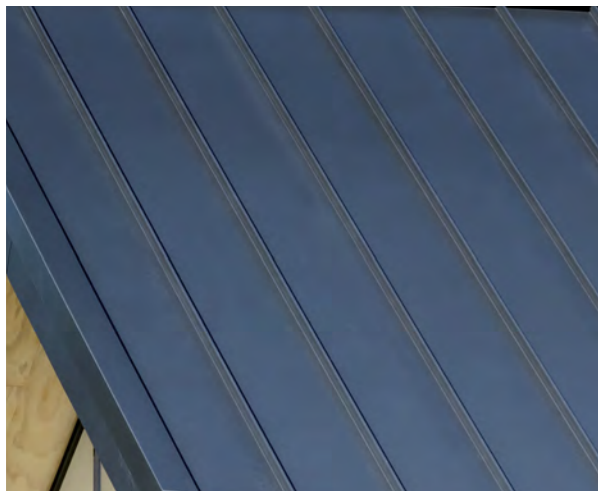
- 3m adjoining any residential boundary. Planting in this area shall be designed and established to mitigate (screen, soften and balance) the visual impact and dominance of adjacent built form and any car parking areas. Planting within this area shall include at least 1 tree capable of reaching 16m height every 5m. These trees are to be at least 2.5m in height at the time of planting. 100% of the setback area is to be planted with locally appropriate native species (see Section 3.3)

- 5m adjoining the Golf Course Activity Area boundary. Planting in this area shall be designed and established to mitigate (screen, soften and balance) the visual impact and dominance of adjacent built form and any car parking areas. Planting within this area shall include at least 1 tree capable of reaching 10m height every 15m (average). These trees are to be at least 2.5m in height at the time of planting. At least 50% of the setback area is to be planted with locally appropriate native species (see Section 3.3)

Planting plans for these setback areas shall specify the grades of plants to be planted and demonstrate how a timely landscape impact shall be achieved. These plans shall also include the proposed measures to provide for successful establishment and appropriate on-going management.

2.2.4.4 Modulation of Buildings: Golf Village Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length in the Golf Village. This can be done through the use of façade variation, materials (including the incorporation of living facades or walls), recesses, gable end projections, chimney's, and balconies. Blank facades are to be avoided.



2.2.4.5 Roofs: Golf Village Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form of the Pegasus Golf Club.

- Flat roofs will be permitted within the Golf Village Activity Area, especially where these roofs are accessible and/or living roofs.



2.2.4.6 Wall Cladding: Golf Village Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Golf Club part of the Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

- Buildings with a footprint over 2,000m² must include a living roof. For the purpose of activating a living roof (for example with a café or deck) a pavilion building may be able to exceed the maximum height limit by no more than 4m (measured from the finished floor level of the living roof), up to a maximum of 30% of the building footprint.
- All other buildings will follow a simple roof form that follow the architectural design of cottages, villas or pavilions. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- It is recommended that simple roof forms are used.
- No hip roofs are permitted.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour.
- Steel tray cladding/roof, Profiled Steel, Colursteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- Down pipes and gutters will be in a colour matching the roof.
- Fine faced concrete block for not more than 30% of the total exterior façade wall cladding;
- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;
- Natural timber cladding, vertically cladded, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%; and
- Joinery, guttering, and downpipes should match roof colours.

Corrugated Iron or Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.4.7 Windows and Doors: Golf Village Activity Area

The aim of these controls is to ensure a sense of human scale is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.

2.2.4.8 Building Projections: Golf Village Activity Area

The use of verandas, porches and pergolas are encouraged to enhance the outdoor spaces provided for all year round use and encourage active frontages. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.
- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.

2.2.4.9 Car Parking: Golf Village Activity Area

Car parking controls aim to reduce the adverse effects of at-grade car parking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- The 'at-grade' car parking forming the central square should be treated in semi-permeable surface and landscaped to ensure views from surrounding public spaces of Pegasus Resort are maintained. This space should be versatile to function as a central square if required to for an event or extension of public realm to the surrounding uses.
- Any other 'at-grade' parking shall be appropriately landscaped to ensure the landscaped quality of views from surrounding public spaces of Pegasus Resort are maintained.
- Car parking buildings are not considered appropriate for the central square. If at any point this is deemed to be a requirement, the central open square shall be retained, and any building shall be appropriated modulated through façade treatment to ensure that it does not inappropriately undermine the character of Pegasus Resort and adjacent areas.
- Organic patterning of vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer.

2.2.5 Village Fringe Activity Area

The Village Fringe contains the relocated Golf Holes 1 and 2 and acts as a buffer between the Spa Village and the larger lot residential properties to the north. This area aims to maintain the golf courses existing status and par level when the development occurs by providing the relocated holes 1 and 2, alongside enhancing the Resorts amenity and biodiversity with the use of vegetation, ponds and landscaped swales.

2.2.5.1 Coverage Controls: Village Fringe Activity Area

Maximum Site Coverage	3%
Minimum Landscape Coverage	90%
Maximum Paved / Impermeable Coverage	7%

2.2.5.2 Maximum Building Height: Village Fringe Activity Area

Maximum Building Height – 8m, 2 storeys

2.2.5.3 Building Setback: Village Fringe Activity Area

A minimum building setback of 5m shall be provided adjoining all boundaries. Within this setback, landscaping with species as defined in section 3 is encouraged.

On all boundaries with Activity Areas 1 and 2 at least 50% of this buffer area is to be established in plantings (with species as defined in section 3) designed to appropriately mitigate (screen, soften and balance) the visual impact of built elements in the adjacent activity areas.

This planting shall provide for the establishment of trees capable of reaching at least 10m height every 15m (average). These trees are to be at least 2.5m in height at the time of planting. Planting plans for this area shall specify the grades of plants to be planted and demonstrate how a timely landscape impact shall be achieved. These plans shall also include the proposed measures to provide for successful establishment and appropriate on-going management.

2.2.5.4 Modulation of Buildings: Village Fringe Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length in the Village Fringe. This can be done through the use of façade variation, materials (including the incorporation of living facades or walls), recesses, gable end projections, chimney's, and balconies. Blank facades are to be avoided.

2.2.5.5 Roofs: Village Fringe Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form of the Pegasus Golf Club.

- All buildings should follow a simple roof form that follow the architectural design of the Pegasus Golf Club. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- No hip roofs are permitted.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour.

- Steel tray cladding/roof, Profiled Steel, Colursteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- Down pipes and gutters will be in a colour matching the roof.

2.2.5.6 Wall Cladding: Village Fringe Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Golf Club part of the Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;
- Natural timber cladding, vertically cladded, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%;
- Stone to match the existing golf club façade;
- Joinery, guttering, and downpipes should match roof colours;

Corrugated Iron or Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.5.7 Windows and Doors: Village Fringe Activity Area

The aim of these controls is to ensure a sense of human scale is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.
- Shed or Garage doors are to be timber stained or painted and in a recessive colour.

2.2.5.8 Building Projections: Village Fringe Activity Area

The use of verandas, porches and pergolas are encouraged to enhance the outdoor spaces provided for all year round use and encourage active frontages. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.

- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.

2.2.5.9 Car Parking: Village Fringe Activity Area

Car parking controls aim to reduce the adverse effects of at-grade carparking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- 'At-grade' car parking or parking buildings are not considered appropriate for the Village Fringe.
- If at any point this is deemed to be a requirement, the car parking should be appropriately landscaped to retain the character and landscape amenity of Pegasus Resort. Organic patterning of vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer. Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.

2.2.6 Golf Course Activity Area

The Golf Course contains the balance of the existing golf course, holes 3 to 18, and enables the ongoing operation and development of this course as a Major Sports Facility.

2.2.6.1 Coverage Controls: Golf Course Activity Area

Maximum Site Coverage	3%
Minimum Landscape Coverage	90%
Maximum Paved / Impermeable Coverage	7%

2.2.6.2 Maximum Building Height: Golf Course Activity Area

Maximum Building Height – 6m, 1 storey

2.2.6.3 Building Setback: Golf Course Activity Area

A minimum building setback of 4m shall be provided adjoining all boundaries. Within this setback, landscaping with species as defined in section 3 is encouraged.

2.2.6.4 Modulation of Buildings: Golf Course Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length in the Golf Course. This can be done through the use of façade variation, materials (including the incorporation of living facades or walls), recesses, gable end projections, chimney's, and balconies. Blank facades are to be avoided.

2.2.6.5 Roofs: Golf Course Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form of the Pegasus Golf Club.

- All buildings should follow a simple roof form that follow the architectural design of the Pegasus Golf Club. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- No hip roofs are permitted.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour.
- Steel tray cladding/roof, Profiled Steel, Coloursteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- Down pipes and gutters will be in a colour matching the roof.

2.2.6.6 Wall Cladding: Golf Course Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Golf Club part of the Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;

- Natural timber cladding, vertically cladded, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%;
- Stone to match the existing golf club façade;
- Joinery, guttering, and downpipes should match roof colours;

Corrugated Iron or Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.6.7 Windows and Doors: Golf Course Activity Area

The aim of these controls is to ensure a sense of human scale is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.
- Shed or Garage doors are to be timber stained or painted and in a recessive colour.

2.2.6.8 Building Projections: Golf Course Activity Area

The use of verandas, porches and pergolas are encouraged to enhance the outdoor spaces provided for all year round use and encourage active frontages. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.
- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.

2.2.6.9 Car Parking: Golf Course Activity Area

Car parking controls aim to reduce the adverse effects of at-grade carparking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- 'At-grade' car parking or parking buildings are not considered appropriate for the Village Fringe.
- If at any point this is deemed to be a requirement, the car parking should be appropriately landscaped to retain the character and landscape amenity of Pegasus Resort. Organic patterning of vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer. Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.

2.2.7 Māketē Medium Density Residential Activity Area

The Medium Density Residential Activity Area provides for 2 storey stand alone dwellings, duplexes and terraced house typologies, set in a landscaped environment and with links to the Māketē and Golf Course.

2.2.7.1 Coverage Controls: Medium Density Residential Activity Area

Maximum Site Coverage	50%
Minimum Landscape Coverage	20%
Maximum Paved / Impermeable Coverage	20%

2.2.7.2 Maximum Height: Māketē Medium Density Residential Activity Area

Maximum Building Height – 10m, 2 storeys

2.2.7.3 Maximum number of residential units: Māketē Medium Density Residential Area

In the Māketē Medium Density Residential Area there shall be no more than 27 residential units.

2.2.7.4 Building Setback/Landscaped Buffer: Māketē Medium Density Residential Activity Area

A minimum building or structures setback of 25m shall be maintained to State Highway 1. Other zone or activity area boundaries where buildings are proposed within 20m of the boundary must, except for where vehicle entrances are cut through, be provided a minimum strip 3.5m wide to be completely planted in species identified in Section 3 with a minimum height of 0.5m. Planting in this area should include at least 1 tree capable of reaching 10m at maturity to be planted every 20m2.

Alongside Taranaki Stream, except for where roads or pathways cross, setback areas are to be appropriately planted using locally appropriate indigenous species from within Section 3 to enhance the natural waterway values and should be free of any new structures (other than pathways and decks less than 1m in height).

2.2.7.5 Modulation of Buildings: Medium Density Residential Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length. This can be done through the use of recesses, offsets, gable end projections, chimneys, balconies, and the use of façade variation and materials. Blank facades are to be avoided.

2.2.7.6 Roofs: Māketē Medium Density Residential Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form.

- All buildings should follow a simple roof form that follow the architectural design of cottages, villas or pavilions. For a pavilion gabled roof a minimum pitch of 25° and maximum of 45°.
- It is recommended that simple roof forms are used.
- Mono-pitched roofs, exceeding 20% of the building footprint can be incorporated with a minimum pitch of 5° and maximum of 10° where the combination of roof forms is minimal.
- Lean-to structures are permitted and shall have a minimum roof pitch of 15° and a maximum pitch of 35°.

- Flat roofs that connect and link pitched roofed pavilions are acceptable but will generally not exceed 30% of the total roof area of the activity area. These roofs are encouraged to be accessible and/or have a living roof.
- No hip roofs are permitted.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour.
- Steel tray cladding/roof, Profiled Steel, Colorsteel or tiles are permitted limited to one form, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- A second roof finish to a secondary form such as a garage or lean-to may be permitted where it
- can be satisfied that the overall design will benefit from this feature.
- Down pipes and gutters will be in a colour matching the roof.
- Dormers are permitted and must be treated with same material as main roof.



2.2.7.7 Wall Cladding: Māketē Medium Density Residential Activity Area

The wall cladding controls aim to ensure that new buildings are complementary and blend into the immediate Pegasus Golf Club part of the Resort and wider landscape. Cladding materials shall be authentic, of quality with natural or recessive colours with a limited number of variations in finish.

The following cladding materials and colours are permitted;

- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives) for not more than 30% of the total exterior façade wall cladding;
- Brick either natural or painted in contemporary dark paint colours to match an LRV of 5-22%;
- Painted timber in contemporary dark paint colours to match an LRV of 5-22%;
- Natural timber cladding, vertical or horizontal, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%;
- Stone to match the existing golf club façade;
- Joinery, guttering, and downpipes should match roof colours;

Corrugated Iron or Hardie™ Flatboard are not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.7.8 Windows and Doors: Māketē Medium Density Residential Activity Area

The aim of these controls is to ensure a sense of human scale is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in a recessive colours is permitted.
- Windows are to be double-glazed, vertical in proportion and adjoining the golf course, to be toughened glass.
- All glazing is to be non-reflective and no mirrored glass is permitted.
- Shed or Garage doors are to be timber stained or painted and in a recessive colour.

2.2.7.9 Building Projections: Māketē Medium Density Residential Activity Area

The use of verandas, porches and pergolas is encouraged to enhance the outdoor spaces provided for all year round use. Built form projections should be designed as connected elements to the main building form.

- Roof projections, such as chimneys and flues are to be compatible in materials and height with the main building form.
- Chimneys that are considered to be a strong built form element may exceed 1.1m in height and width to a maximum of 2m.
- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.

2.2.7.10 Car Parking: Māketē Medium Density Residential Activity Area

Car parking controls aim to reduce the adverse effects of at-grade carparking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- If at any point this is deemed to be a requirement, the car parking should be appropriately landscaped to retain the character and landscape amenity of Pegasus Resort. Organic patterning of

vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer. Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.

- 'At-grade' car parking or parking buildings are not considered appropriate for the Village Fringe.



2.2.8 Māketē Village Activity Area

The Māketē Village Activity Area provides for a market space, supported by a number of small scale, boutique commercial, retail and food and beverage operations. The focus is on agriculture, food production, arts, crafts and culture and historical interpretation.

2.2.8.1 Coverage Controls: Māketē Village Activity Area

Maximum Site Coverage	20%
Minimum Landscape Coverage	50%
Maximum Paved / Impermeable Coverage	30%

2.2.8.2 Maximum Height: Māketē Village Activity Area

Maximum Building Height – 9m, 2 storeys

2.2.8.3 Building Setback: Māketē Village Activity Area

A minimum building or structures setback of 30 m shall be maintained to State Highway 1. Adjoining State Highway 1 landscaped buffers, except for where the emergency vehicle entrance is cut through, provide a minimum 7m wide strip that is to be developed with low, naturalistic mounding up to 1.0m high and completely planted in species identified in Section 3 with a minimum height of 0.5m. At least 1 tree capable of reaching 10m at maturity is to be planted per 20m².

Alongside Taranaki Stream, except for where roads or pathways cross, setback areas are to be appropriately planted using locally appropriate indigenous species from within Section 3 to enhance the natural waterway values and should be free of any new structures (other than pathways and decks less than 1m in height).



2.2.8.4 Commercial and Retail Activities: Māketē Village Activity Area

The Market Building is to be located between the car parking and the Taranaki Stream, while also having frontage and activation onto the Village Green. Buildings should open out to the creek to the north and the Village Green to the south, with good pedestrian access between and around buildings.

2.2.8.5 Modulation of Buildings: Māketē Village Activity Area

Consideration shall be given to breaking up the mass of building forms in excess of 15m in length. This can be done through the use of recesses, offsets, gable end projections, chimneys, balconies, and the use of façade variation and materials. Blank facades are to be avoided.

2.2.8.6 Roofs: Māketē Village Activity Area

The aim of the following controls is to ensure a unified roofscape that does not detract from the surrounding landscape and the established built form.

- Gable roof or monopitch roofs that reference local agricultural vernacular are preferred, although a contemporary interpretation of these forms is encouraged.
- Flat roofs that connect and link pitched roofed pavilions are acceptable but will generally not exceed 30% of the total roof area of the activity area.
- It is recommended that simple roof forms are used.
- Eaves or overhangs are encouraged.
- Roofs shall have a Light Reflectivity Value (LRV) of between 5-22% in a neutral colour or Resene Heritage Colour.
- Steel tray cladding/roof, profiled metal roofing are permitted, with colours similar to Resene matte finish: Element; Grey Friars; Windswept; Squall; Ironsand; Lignite; High Tide; Charcoal or Karaka.
- Down pipes and gutters will be in a colour matching the roof.
- No hip roofs are permitted.



2.2.8.7 Wall Cladding: Māketē Village Activity Area

The wall cladding controls aim to ensure that new buildings form a cohesive development within a limited palette of materials. Cladding materials shall be authentic and reference the local agricultural heritage. A contemporary interpretation of traditional agricultural materials and forms is encouraged.

The following cladding materials and colours are permitted;

- Concrete with a low light reflection coefficient (i.e. textured such as board formed or oxide additives)
- Brick; red clay brick or similar natural and traditional colours.
- Painted timber, painted in colours typical of traditional agricultural activities
- Natural timber cladding, vertical or horizontal, left to weather, oiled or stained to match an LRV of 5-22%;
- Board and batten stained to match an LRV of 5-22%;
- Corrugated, trapezoidal profiled or tray type colour coated steel, colours typical of traditional agricultural activities.

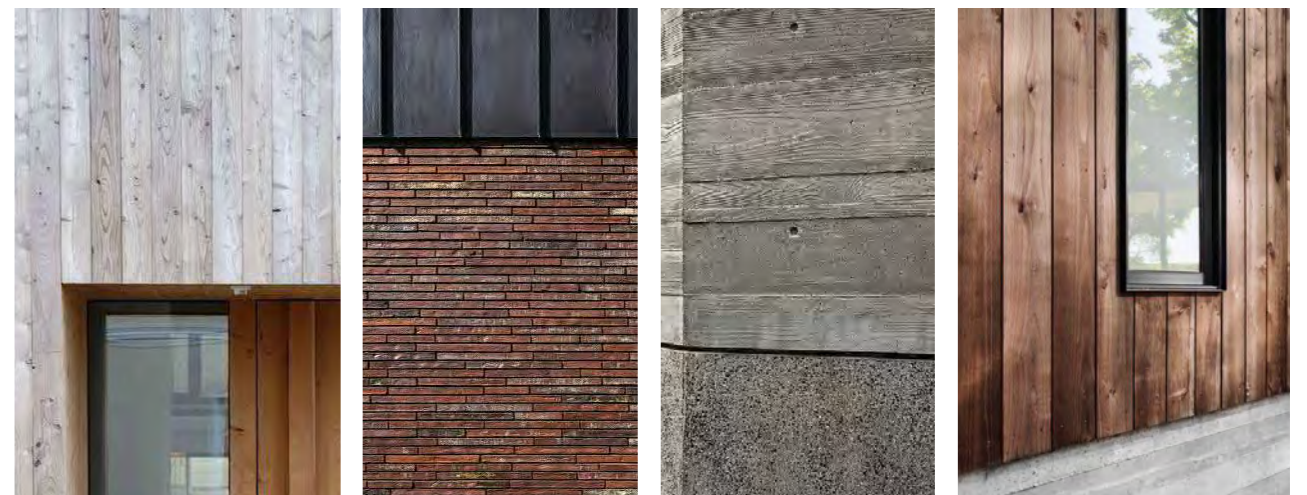
- Stone; local stone or river stone.
- Joinery, guttering, and downpipes should match roof colours;

Hardie™ Flatboard is not permitted. Materials not listed in the list above may be considered appropriate at the sole discretion of WDC.

2.2.8.8 Windows and Doors: Māketē Village Activity Area

The aim of these controls is to ensure a cohesive design is achieved throughout Pegasus Resort.

- Natural or stained timber, steel, powder coated aluminium or anodised aluminium joinery in recessive colours are permitted.
- Windows are to be double-glazed and reference shape and proportion of traditional agricultural buildings. Large areas of glazed curtain walls should be avoided.
- All glazing is to be non-reflective and no mirrored glass is permitted.



2.2.8.9 Building Projections: Māketē Village Activity Area

The use of verandas, porches and pergolas is encouraged to enhance the outdoor spaces, encourage active frontages. Built form projections should be designed as connected elements to the main building form.

- Verandas, pergolas and balconies are to be of a proportion and scale to suit the development and provide space for people to sit and connect at street level, act as an activation extension to ground floor uses.
- A variety of covered outdoor spaces shall be provided to offer shelter and comfort in different weather conditions and throughout the year

2.2.8.10 Car Parking: Māketē Village Activity Area

Car parking controls aim to reduce the adverse effects of at-grade carparking, garaging or car parking structures on Pegasus Resort and to ensure these spaces do not dominate or significantly detract from the pedestrian orientated and landscaped quality of the area.

- The 'at-grade' car parking along the boundary to the south should be treated in semipermeable surface and landscaped to provide a buffer between the Pegasus Boulevard/State Highway 1 roundabout and the Māketē Development.
- Car parking buildings are not considered appropriate for the Māketē Village Development. If at any point this is deemed to be a requirement, any building shall be appropriately modulated through façade treatment to ensure that it does not inappropriately undermine the character of Pegasus Resort and adjacent areas.

- Organic patterning of vegetation shall be used to appropriately screen reducing the dominance of parked cars and pavement alongside providing shade for parking in summer.
- Landscape planting to a high standard should be used to reduce the dominance of hard surfaces and avoid large areas of impermeable surfacing.
- Best practice urban design solutions should be used to avoid the dominance of car parking areas.
- Coach/bus parking areas shall be appropriately landscaped.

2.2.8.11 Landmark: Māketē Village Activity Area

A landmark structure or sculpture should be provided in this area to assist with way finding for the activity area. The landmark structure or sculpture should be designed by an artist or designer to articulate the cultural heritage and values of the site. Opportunity should be provided for a co-design process with Ngai Tuahuriri to assist with the articulation of cultural values.

2.3 Access

Vehicular access to buildings will be considered in terms of how it relates to wider urban design principles, such as the provision of access for deliveries, pickups and drop offs, parking access and disabled access. Access and movement of golf buggies will also need to be considered for the continued connection around the golf holes and golf club rooms.

2.4 Safety

The safety of the general public including users of the building requires assessment in terms of the buildings passive surveillance potential or 'eyes on the street', use of lighting, shared walkways and cycleways and any vehicle crossing.

3.0 Landscape

3.1 Landscape Guidelines

The aim of the landscape guidelines is to provide a framework of consistent and locally relevant plants to ensure a contiguous landscape theme is knitted throughout Pegasus Resort. Species chosen are those originally anticipated in the area, that will enhance biodiversity, alongside some selected exotic species that will provide seasonal colour.

The streetscape, wetlands, lakes, golf course and public realm will be designed and implemented by Pegasus Resort. Throughout the Resort, hard landscaping elements such as street furniture, lighting, paving types and signage will be consistent and appropriate to the scale and setting.

3.2 Minimum Landscape Requirements

The minimum amount of open park-like landscaped area in each Activity Area shall be:

1	Spa Activity Area	40%
2	Spa Village Activity Area	30%
3	Golf Square Activity Area	30%
4	Golf Village Activity Area	40%
5	Village Fringe Activity Area	90%
6	Golf Course Activity Area	90%
7		



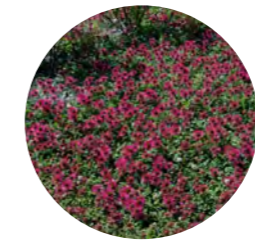
3.3 Indicative Planting List

A plant species list has been provided in the table below from which all planting is to be derived. Additional species may be approved at the sole discretion of WDC.

Landscaping shall reflect and complement Pegasus's streetscape and public open space in terms of planting, material and layout. All landscaping shall be implemented and maintained by the lot owner at the time of construction of the building and completed prior to the occupation.

Indigenous Plant Species

Latin Name	Common Name	Native	Evergreen	Deciduous
<i>Acaena novae-zealandiae</i>	Bidibidi	X	X	
<i>Anemanthele lessoniana</i>	Wind grass	X	X	
<i>Apodasmia similis</i>	Oioi	X	X	
<i>Aristolelia serrata</i>	Wineberry	X	X	
<i>Asplenium bulbiferum</i>	Hen and chicken fern	X	X	
<i>Austroderia richardii</i>	Toetoe	X	X	
<i>Baumea rubiginosa</i>	Twig rush	X	X	
<i>Blechnum discolor</i>	Crown fern	X	X	
<i>Blechnum minus</i>	Swamp kiokio	X	X	
<i>Blechnum pennamarina</i>	Hard fern	X	X	
<i>Carex flagellifera</i>		X	X	
<i>Carex geminata</i>	Cutty grass	X	X	
<i>Carex maorica</i>		X	X	
<i>Carex secta</i>	Purei	X	X	
<i>Carex virgata</i>	Kawakawa	X	X	
<i>Carmichaelia australis</i>	New Zealand broom	X	X	
<i>Carpodetus serratus</i>	Marbleleaf	X	X	
<i>Clematis paniculata</i>		X	X	
<i>Coprosma crassifolia</i>	Thick-leaved mikimiki	X	X	
<i>Coprosma lucida</i>	Karamu	X	X	
<i>Coprosma propinqua</i>	Mingimingi	X	X	
<i>Coprosma robusta</i>	Karamu	X	X	



Acaena novae-zealandiae



Anemanthele lessoniana



Apodasmia similis



Aristolelia serrata



Asplenium bulbiferum



Austroderia richardii



Baumea rubiginosa



Blechnum discolor



Blechnum minus



Blechnum pennamarina



Carex flagellifera



Carex geminata



Carex maorica



Carex secta



Carex virgata



Carmichaelia australis



Carpodetus serratus



Clematis paniculata



Coprosma crassifolia



Coprosma lucida



Coprosma propinqua

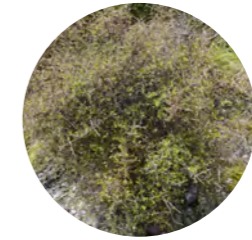


Coprosma robusta

Latin Name	Common Name	Native	Evergreen	Deciduous
<i>Coprosma rotundifolia</i>	Round-leaved coprosma	X	X	
<i>Coprosma rubra</i>	Red-stemmed coprosma	X	X	
<i>Coprosma virescens</i>	Pale green coprosma	X	X	
<i>Cordyline australis</i>	Cabbage tree	X	X	
<i>Corokia cotoneaster</i>	Korokio	X	X	
<i>Dacrycarpus dacrydioides</i>	Kahikatea	X	X	
<i>Dodonaea viscosa</i>	Akeake	X	X	
<i>Elaeocarpus dentatus</i>	Hinau	X	X	
<i>Elaeocarpus hookerianus</i>	Pokaka	X	X	
<i>Euphorbia glauca</i>	Shore spurge	X	X	
<i>Fuchsia excorticata</i>	Tree fuchsia	X	X	
<i>Griselinia littoralis</i>	Broadleaf	X	X	
<i>Hebe salicifolia</i>	Koromiko	X	X	
<i>Hedycarya arborea</i>	Pigeonwood	X	X	
<i>Helichrysum lanceolatum</i>	Niniao	X	X	
<i>Histiopteris incisa</i>	Water fern	X	X	
<i>Hoheria angustifolia</i>	Narrow-leaved lacebark	X	X	
<i>Juncus gregiflorus</i>		X	X	
<i>Juncus pallidus</i>		X	X	
<i>Kunzea ericoides</i>	Kanuka	X	X	
<i>Leptospermum scoparium</i>	Manuka	X	X	
<i>Lophomyrtus obcordata</i>	Rohutu	X	X	



Coprosma rotundifolia



Coprosma rubra



Coprosma virescens



Cordyline australis



Corokia cotoneaster



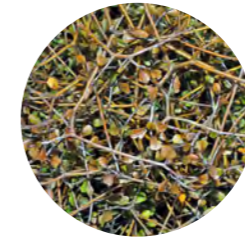
Dacrycarpus dacrydioides



Dodonaea viscosa



Elaeocarpus dentatus



Elaeocarpus hookerianus



Euphorbia glauca



Fuchsia excorticata



Griselinia littoralis



Hebe salicifolia



Hedycarya arborea



Helichrysum lanceolatum



Histiopteris incisa



Hoheria angustifolia



Juncus gregiflorus



Juncus pallidus



Kunzea ericoides

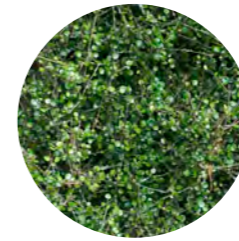


Leptospermum scoparium



Lophomyrtus obcordata

Latin Name	Common Name	Native	Evergreen	Deciduous
<i>Melicope simplex</i>	Poataniwha	X	X	
<i>Microlaena avenacea</i>	Bush rice grass	X	X	
<i>Microsorium pustulatum</i>	Hounds tongue fern	X	X	
<i>Muehlenbeckia astonii</i>	Shrub pohuehue	X	X	
<i>Myoporum laetum</i>	Ngaio	X	X	
<i>Myrsine divaricata</i>	Weeping mapou	X	X	
<i>Olearia avicenniaefolia</i>	Mountain akeake	X	X	
<i>Olearia paniculata</i>	Golden akeake	X	X	
<i>Passiflora tetrandra</i>	Native passion flower	X	X	
<i>Pennantia corymbosa</i>	Kaikomako	X	X	
<i>Phormium tenax</i>	Flax / Harakeke	X	X	
<i>Pittosporum eugenioides</i>	Lemonwood	X	X	
<i>Pittosporum tenuifolium</i>	Kohuhu	X	X	
<i>Plagianthus regius</i>	Lowland ribbonwood	X	X	
<i>Podocarpus totara</i>	Totara	X	X	
<i>Polystichum neozelandicum</i>	Common shield fern	X	X	
<i>Polystichum vestitum</i>	Prickly shield fern	X	X	
<i>Prumnopitys taxifolia</i>	Matai	X	X	
<i>Pseudopanax crassifolius</i>	Lancewood	X	X	
<i>Sophora microphylla</i>	Kowhai	X	X	
<i>Teuclidium parvifolium</i>	New Zealand verbena	X	X	



Melicope simplex



Microlaena avenacea



Microsorium pustulatum



Muehlenbeckia astonii



Myoporum laetum



Myrsine divaricata



Olearia avicenniaefolia



Olearia paniculata



Passiflora tetrandra



Pennantia corymbosa



Phormium tenax



Pittosporum eugenioides



Pittosporum tenuifolium



Plagianthus regius



Podocarpus totara



Polystichum neozelandicum



Polystichum vestitum



Prumnopitys taxifolia



Pseudopanax crassifolius



Sophora microphylla



Teuclidium parvifolium

Exotic Tree Species

Latin Name	Common Name	Native	Evergreen	Deciduous
<i>Alnus cordata</i>	Italian alder			X
<i>Alnus incana</i>	Grey alder			X
<i>Betula utilis 'jacquemontii'</i>	White Himalayan birch			X
<i>Fraxinus angustifolia 'Raywood'</i>	Claret ash			X
<i>Populus yunnanensis</i>	Yunnan poplar			X
<i>Quercus coccinea</i>	Scarlet oak			X
<i>Quercus ellipsoidalis</i>	Northern pin oak			X



Alnus cordata



Alnus incana



Betula jacquemontii



Fraxinus angustifolia 'Raywoodii'



Populus yunnanensis



Quercus coccinea



Quercus ellipsoidalis

3.4 Mounding + Landforms

Mounding is encouraged within the landscape buffer zones or building setbacks adjoining Pegasus Boulevard and shall be on average 1m in height, of a natural shape and contour and planted with species as defined above.

3.5 Hardscaping

The hardscaping for Pegasus Resort is based around it being simple, basic and natural surface materials.

- The use of concrete, stone, gravel and timber in their simple unpretentious form.
- Exposed aggregate concrete is encouraged as the primary surface for footpaths and paving alongside natural stone for feature paving and edging.
- The use of stone kerbs is encouraged in preference to concrete kerbs for all activity areas.
- Stone, exposed aggregate concrete paths, wooden boardwalks, gravel or hoggin are encouraged for pedestrian walkways.
- The provision of grassed swales adjoining the internal roads is encouraged (excluding the Spa Village Activity Area where the buildings should have limited setbacks from the road).
- Green streets within the Spa Village are to reflect best practice urban design principles in terms of stormwater runoff, pedestrian prioritisation, accessibility, biodiversity of planting and passive surveillance.
- Fencing shall be formed of in situ concrete, wooden post and rail fencing, or hedging and shall not exceed 1.2m in height (with the exception of the hot pools).
- The Spa Hot Pools, Outdoor Pools or Tennis Courts will consider fencing that meets the building requirements and this shall be finished in a dark recessive colour.

CrossSections

Golf Square



Link Road



Loop Road



3.6 Lighting

- All fixed lighting shall be directed away from adjacent roads and properties.
- Any building or fence constructed or clad in metal, or material with reflective surfaces shall be painted or otherwise coated with a non-reflective finish.
- No activity shall result in a greater than 3.0 lux spill, horizontal and vertical, of light onto any property located outside of the SPZ-PR, measured at any point inside the boundary of the adjoining property.
- External lighting shall be limited to down lighting only.
- Lighting design shall reflect best practise urban design standards, including Crime Prevention through Environmental Design (CPTED).

3.7 Street Numbering + Letterboxes

- Street Numbers are to be designed to complement the building façade, such as shown on flat black steel.
- Letterboxes will be integral to a wall or landscape so that the mail slot is the only part of the letterbox showing. Letterboxes mounted on a post are not permitted.

3.8 Ancillary Buildings + Structures

3.8.1 Site Utilities + Storage Areas

Meter boxes for utilities are to be flush mounted into walls and covered having regard to surrounding cladding.

Storage areas (including rubbish and recycling bins) shall be located in the rear yard (if within the village) and screened from the street, reserves, footpaths and neighbours.

Screening shall compliment the landscaping in terms of plant palette, materiality, colour and finish and to a height of no more than 1.5m.

All utilities on site such as water, gas, electricity and telecommunications shall be underground or contained within the buildings structure.

3.8.2 Clothes Lines

Clothes lines shall be located rear yards and be no higher than 1.6m.

3.8.3 Signage

Building facades will include platforms for future signage to avoid signage not being 'read' as an integrated part of the building façade and appropriate to the character of Pegasus Resort.

3.8.4 Other

Any boats, trailers or caravans must be parked within the lot and are not permitted to be stored on any reserve, road corridor, road verge or public open space.

The property owner must ensure that yards adjoining the street or open space reserves are maintained to a high standard all year. If occupied by tenants, the owner shall ensure the maintenance of the yards. This includes, but is not limited to, the mowing of lawns, maintenance of hedges and weed removal.



Appendix 1

Design Approval Application Form



ANNEXURE C
UPDATED MASTERPLAN



rev	date	details	by
A	03/05/2024	Masterplan Issue	CC
B	08/05/2024	Masterplan Issue	CC
C	14/05/2024	Masterplan Issue	CC
D	17/05/2024	Final Issue	CC

scale: 1:1000 size: A2
 Do not scale drawings. Verify all dimensions on site
 drawn: CC checked: JL date 17/05/2024