

OFFICER'S REPORT FOR: Hearing Commissioners and Independent Hearing Commissioners

SUBJECT: Proposed Waimakariri District Plan: Wāhanga Waihanga – Development Areas (DEV)

PREPARED BY: Peter Wilson, Principal Policy Planner

REPORT DATED: 12/01/2024

DATE OF HEARING: 19-24 February 2023

Executive Summary

1. This report considers submissions received by the Waimakariri District Council in relation to the relevant objectives, policies, rules, definitions, appendices, and maps of the Wāhanga waihanga Development Areas Chapter of the proposed Waimakariri District Plan. The report outlines recommendations in response to the issues that have emerged from these submissions.
2. There were a number of submissions and further submissions received on the DEV chapter. The following are considered to be the key issues in contention in the chapter:
 - Subjectivity and uncertainty in the certification provisions
 - Amendments to specific ODPs and development area provisions.
3. This report addresses each of these matters, as well as any other issues raised by submissions.

Proposed Plan Submissions

4. I have recommended some changes to the Proposed Plan provisions to address matters raised in submissions and are summarised below:
 - Consolidation and revision of the certification provisions to improve clarity and remove subjectivity.
 - Amendments to ODPs

Variation 1 submissions

5. Submissions on Variation 1 must be decided upon under the delegation provided to the Independent Hearings Panel in accordance with the Intensification Streamlined Planning Process.

Zoning of land within Development Areas Overlay

Those submissions, or parts of submissions, that relate to the zoning of land within a DEV are recommended to be considered within the s42A report and hearing for Hearing Stream 12.

6. Having considered all the submissions and reviewed all relevant statutory and non-statutory documents, I recommend that the Proposed Plan should be amended as set out in section **Appendix A** of this report.
7. For the reasons set out in the Section 32AA evaluation and included throughout this report, I consider that the proposed objectives and provisions, with the recommended amendments, will be the most appropriate means to:
 - achieve the purpose of the RMA where it is necessary to revert to Part 2 and otherwise give effect to higher order planning documents, in respect to the proposed objectives, and
 - achieve the relevant objectives of the Proposed Plan, in respect to the proposed provisions.

Contents

Executive Summary.....	ii
Contents.....	iii
Interpretation	vii
1. Introduction	10
1.1 Purpose	10
1.2 Author	10
1.3 Key Issues in Contention.....	11
1.4 Procedural Matters	11
2 Statutory Considerations	12
2.1 Resource Management Act 1991.....	12
2.2 Section 32AA	12
2.3 Trade Competition	12
3 Consideration of Submissions and Further Submissions	13
3.1 Background to chapter.....	13
3.2 Relationship with rezoning	15
4 Overview	16
4.1 Report Structure	16
5 Format for Consideration of Submissions.....	16
6 Analysis of submissions.....	16
6.1 Strategic Directions – Urban Form and Development.....	16
6.1.1 Matters raised by submitters.....	16
6.1.2 Assessment	17
6.1.3 Recommendations	18
6.1.4 Section 32AA evaluation	18
6.2 Certification process	18
6.2.1 Matters raised by submitters.....	18
6.2.2 Assessment	20
6.2.3 Recommendations	24
6.2.4 Section 32AA Evaluation	25
6.3 General submissions on development areas.....	25
6.3.1 Matters raised by submitters.....	25
6.3.2 Assessment	26
6.3.3 Recommendations	27

6.3.4	Section 32AA Evaluation	28
6.4	NWR – North West Rangiora Development Area	28
6.4.1	Matters raised by submitters.....	28
6.4.2	Assessment	29
6.4.3	Recommendations	30
6.4.4	Section 32AA Evaluation	31
6.5	SBT – South Belt Development Area.....	31
6.5.1	Matters raised by submitters.....	31
6.5.2	Assessment	32
6.5.3	Recommendations	32
6.5.4	Section 32AA Evaluation	33
6.6	KLFR – Kaiapoi Large Format Retail (‘LFR’) Development Area	33
6.6.1	Matters raised by submitters.....	33
6.6.2	Assessment	33
6.6.3	Recommendations	33
6.7	OHOK – Bradleys Road Ohoka Development Area	33
6.7.1	Matters raised by submitters.....	33
6.7.2	Assessment	33
6.7.3	Recommendations	33
6.8	WKP – West Kaiapoi Development Area	34
6.8.1	Matters raised by submitters.....	34
6.8.2	Assessment	34
6.8.3	Recommendations	35
6.8.4	Section 32AA Evaluation	35
6.9	EKP – East Kaiapoi Development Area.....	35
6.9.1	Matters raised by submitters.....	35
6.9.2	Assessment	36
6.9.3	Recommendations	37
6.9.4	Section 32AA Evaluation	37
6.10	MILL – Mill Road Ohoka Development Area.....	37
6.10.1	Matters raised by submitters.....	37
6.10.2	Assessment	39
6.10.3	Recommendations	41
9.1.1	Section 32AA Evaluation	42
6.11	NWD – North Woodend Development Area	42
6.11.1	Matters raised by submitters.....	42

6.11.2	Assessment	42
6.11.3	Recommendations	42
6.12	SBK – Southbrook Development Area	42
6.12.1	Matters raised by submitters.....	42
6.12.2	Assessment	46
6.12.3	Recommendations	46
6.12.4	Section 32AA Evaluation	46
6.13	EWD – East Woodend Development Area.....	46
6.13.1	Matters raised by submitters.....	46
6.13.2	Assessment	48
6.13.3	Recommendations	49
6.13.4	Section 32AA Evaluation	50
6.14	MPH – Mapleham Development Area.....	50
6.14.1	Matters raised by submitters.....	50
6.14.2	Assessment	50
6.14.3	S32AA Evaluation	51
6.14.4	Section 32AA Evaluation	52
6.15	NRG – North Rangiora Development Area	52
6.15.1	Matters raised by submitters.....	52
6.15.2	Assessment	52
6.15.3	Recommendations	52
6.15.4	Section 32AA Evaluation	52
6.16	PEG – Pegasus Township Development Area	53
6.16.1	Matters raised by submitters.....	53
6.16.2	Assessment	53
6.16.3	Recommendations	53
6.16.4	Section 32AA Evaluation	54
6.17	WR – West Rangiora Development Area	54
6.17.1	Matters raised by submitters.....	54
6.17.2	Assessment	55
6.17.3	Recommendations	56
6.17.4	Section 32AA Evaluation	57
6.18	NER – North East Rangiora Development Area	57
6.18.1	Matters raised by submitters.....	57
6.18.2	Assessment	61
6.18.3	Recommendations	63

6.18.4	Section 32 Evaluation.....	63
6.19	K – Kaiapoi Development Area	63
6.19.1	Matters raised by submitters.....	63
6.19.2	Assessment	66
6.19.3	Recommendations	67
6.19.4	Section 32AA Evaluation	67
6.20	SER – South East Rangiora Development Area	67
6.20.1	Matters raised by submitters.....	67
6.20.2	Assessment	70
6.20.3	Recommendations	71
6.20.4	Section 32AA Evaluation	71
6.21	New development areas.....	72
6.21.1	Matters raised by submitters.....	72
6.21.2	Assessment	72
6.21.3	Recommendations	73
6.22	Minor changes	73
6.23	Conclusions	74
6.24	Recommendations:.....	74

Appendices

- Appendix A. Recommended Amendments to Development Areas Chapter
- Appendix B. Recommended Responses to Submissions and Further Submissions
- Appendix C. Report Author’s Qualifications and Experience

List of Figures

Figure 1 - Doncaster ODP (from Appendix I of their PDP submission)	29
Figure 2 Notified West Kaiapoi Development Area Outline Development Plan	34
Figure 3 - Notified EKP ODP	36
Figure 4 - Beach Road Estates ("Beachgrove") ODP, from Appendix 2 of their submission.....	37
Figure 5 Notified Mill Road Development Area Outline Development Plan	39
Figure 6 Operative ODP for Mill Road Development Area	40
Figure 7 Proposed ODP for Mill Road Development Area	41
Figure 10 Sheet 154 from Operative District Plan	44
Figure 11 Notified PDP Outline Development Plan	45
Figure 12 Notified East Woodend Development Area Outline Development Plan (with Eders Road issue overlaid)	48
Figure 13 Close up of Eders Road issue	49
Figure 14 Operative District Plan ODP for Mapleham	51
Figure 15 Notified ODP for Mapleham	51

List of Tables

Table 1: Abbreviations	vii
Table 2: Abbreviations of Submitters' Names	viii

Interpretation

2. The report utilises several abbreviations for brevity as set out in Table 1 below:

Table 1: Abbreviations

Abbreviation	Means
RMA	Resource Management Act 1991
District Council	Waimakariri District Council / territorial authority
Operative Plan	Operative Waimakariri District Plan
Proposed Plan	Proposed Waimakariri District Plan
ECan	Environment Canterbury/Canterbury Regional Council
FUDA	Future Urban Development Area
MDRS	Medium Density Residential Standards
NES	National Environmental Standard
NESAQ	National Environmental Standards for Air Quality 2004
NESCS	National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011
NESETA	National Environmental Standards for Electricity Transmission Activities 2009
NESF	National Environmental Standards for Freshwater 2020
NESPF	National Environmental Standards for Plantation Forestry 2017
NESSDW	National Environmental Standards for Sources of Drinking Water 2007

Abbreviation	Means
NESTF	National Environmental Standards for Telecommunication Facilities 2016
NPS	National Policy Statement
NPSET	National Policy Statement on Electricity Transmission 2008
NPSFM	National Policy Statement for Freshwater Management 2020
NPSUD	National Policy Statement on Urban Development 2020
NPSREG	National Policy Statement for Renewable Electricity Generation 2011
NZCPS	New Zealand Coastal Policy Statement 2010
RPS	Operative Canterbury Regional Policy Statement

Table 2: Abbreviations of Submitters' Names

Abbreviation	Means
199 Johns Rd et al	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd
CCC	Christchurch City Council
CDHB	Christchurch District Health Board
Chorus	Chorus New Zealand Ltd
CIAL	Christchurch International Airport Ltd
Corrections	Ara Poutama Aotearoa the Department of Corrections
DoC	Department of Conservation Te Papa Atawhai
ECan	Environment Canterbury / Canterbury Regional Council
Federated Farmers	Federated Farmers of New Zealand Inc.
FENZ	Fire and Emergency New Zealand
Fish and Game	North Canterbury Fish and Game Council
Forest and Bird	Royal Forest and Bird Protection Society
Heritage NZ	Heritage New Zealand Pouhere Taonga
Hort NZ	Horticulture NZ
Kainga Ora	Kainga Ora - Homes and Communities
KiwiRail	KiwiRail Holdings Limited
Mainpower	Mainpower New Zealand Ltd
MoE	Minister / Ministry of Education
Ngāi Tūāhuriri	Te Ngāi Tūāhuriri Rūnanga
NZDF	New Zealand Defence Force
Police	Minister of Police / NZ Police
QEII Trust	Queen Elizabeth the Second National Trust
Ravenswood	Ravenswood Developments Ltd
Spark	Spark New Zealand Trading Ltd
Suburban Estates et al	Suburban Estates Limited, Chris Wilson, Nick Auld, John Wakeman, Jane and Mary Wakeman, Ann Deans, WK Wakeman Estate, Air Charter Queenstown
Tuhaitara Trust	Te Kohaka o Tuhaitara Trust
Transpower	Transpower New Zealand Ltd
Vodafone	Vodafone New Zealand Ltd / One.NZ
WDC	Waimakariri District Council (including as requiring authority)
Waka Kotahi	Waka Kotahi NZ Transport Agency

In addition, references to submissions includes further submissions, unless otherwise stated.

1. Introduction

1.1 Purpose

3. The purpose of this report is to provide the Hearing Panel with a summary and analysis of the submissions received on the DEV chapter and to recommend possible amendments to the Proposed Plan in response to those submissions. This includes existing and proposed development areas.
4. This report is prepared under section 42A of the RMA. It considers submissions received by the District Council on DEV in relation to the relevant strategic directions objectives, objectives, policies, rules, definitions, appendices and maps in the Proposed District Plan that the DEV chapter has amended or inserted. The report outlines recommendations in response to the key issues that have emerged from these submissions.
5. This report discusses general issues or topics arising, the original and further submissions received following notification of the Proposed Plan, makes recommendations as to whether those submissions should be accepted or rejected, and concludes with a recommendation for changes to the Proposed Plan provisions or maps based on the preceding discussion in the report.
6. This report is provided to assist the Hearings Panel in their role as Commissioners or in the context of Variation 1, as Independent Commissioners. The Hearings Panel may choose to accept or reject the conclusions and recommendations of this report and may come to different conclusions and make different recommendations, based on the information and evidence provided to them by submitters.
7. 170 submission points from 15 individual submitters were received. 1 submission is in support, 4 are opposed, 13 request amendments, and 3 are neutral.
8. There were 102 further submission points from 20 individual further submitters. 3 further submission points are in support, with 21 in opposition.

IPI / Variation 1

9. There are 11 submissions on the Variation 1 component of FUDA, from 6 individual submitters. 4 of these are in support, with 5 in opposition, and 2 requesting amendment.
10. There are 3 further submission points on Variation 1 FUDA topics, from 1 further submitter, all in opposition. Section 4.4 discusses the interface between the notified PDP submissions and those received through the Variation 1 housing intensification plan change.

1.2 Author

11. My name is Peter Gordon Wilson. My qualifications and experience are set out in Appendix C of this report.
12. My role in preparing this report is that of an expert planner.
13. I was not involved with the preparation of the chapter or the supporting s32 report for the new DEV "*Wāhanga waihanga / Development Areas*."

14. Although this is a District Council Hearing, I have read the Code of Conduct for Expert Witnesses contained in the Practice Note issued by the Environment Court December 2023. I have complied with that Code when preparing my written statement of evidence and I agree to comply with it when I give any oral evidence.
15. The scope of my evidence relates to the DEV chapter. I confirm that the issues addressed in this statement of evidence are within my area of expertise as an expert policy planner.
16. Any data, information, facts, and assumptions I have considered in forming my opinions are set out in the part of the evidence in which I express my opinions. Where I have set out opinions in my evidence, I have given reasons for those opinions.
17. I have not omitted to consider material facts known to me that might alter or detract from the opinions expressed.

1.3 Key Issues in Contention

18. I consider the following to be the key issue in contention in the chapter:
 - Validity of the certification provisions.
 - ODP additions and changes
19. I address each of these key issues in this report, as well as any other issues raised by submissions.

1.4 Procedural Matters

Pre-hearing conferences etc

20. At the time of writing this report there have not been any pre-hearing conferences, clause 8AA meetings or expert witness conferencing in relation to submissions on DEV matters.

Variation 1

21. Several submissions on DEV matters were made through Variation 1. I have assessed these submissions along with the Proposed Plan submissions, but I have made separate recommendations on them, for consideration by the Independent Hearings Panel, consistent with the requirements of the intensification streamlined planning process.
22. The IPI component of this s42A report should be read alongside those reports, which are as follows:
 - The s42A report on Variation 1 itself, noting that this report is not yet completed at the time of publication;
 - The s42A report on the airport noise qualifying matter
 - s42A for Urban Form and Development

2 Statutory Considerations

2.1 Resource Management Act 1991

23. The DEV chapter has been prepared in accordance with the RMA and in particular:

- section 74 Matters to be considered by territorial authority, and
- section 75 Contents of district plans

2.2 Section 32AA

24. I have undertaken an evaluation of the recommended amendments to provisions since the initial section 32 evaluation was undertaken in accordance with s32AA . Section 32AA states:

32AA Requirements for undertaking and publishing further evaluations

(1) A further evaluation required under this Act—

(a) is required only for any changes that have been made to, or are proposed for, the proposal since the evaluation report for the proposal was completed (the changes); and

(b) must be undertaken in accordance with section 32(1) to (4); and

(c) must, despite paragraph (b) and section 32(1)(c), be undertaken at a level of detail that corresponds to the scale and significance of the changes; and

(d) must—

(i) be published in an evaluation report that is made available for public inspection at the same time as the approved proposal (in the case of a national policy statement or a New Zealand coastal policy statement or a national planning standard), or the decision on the proposal, is notified; or

(ii) be referred to in the decision-making record in sufficient detail to demonstrate that the further evaluation was undertaken in accordance with this section.

(2) To avoid doubt, an evaluation report does not have to be prepared if a further evaluation is undertaken in accordance with subsection (1)(d)(ii).

25. The required section 32AA evaluation for changes proposed as a result of consideration of submissions is in line below the recommendations.

2.3 Trade Competition

26. Trade competition is not considered relevant to the FUDA provisions of the Proposed Plan.

3 Consideration of Submissions and Further Submissions

3.1 Background to chapter

27. The DEV chapter includes provisions to enable development in a specified area of land, termed the Development Area Overlay. This overlay applies to both 'Existing Development Areas' and 'New Development Areas'. These existing and new development areas are contained within separate two separate sub-chapters.
28. The DEV chapter is split up into particular development area sections based on outline development plans. Most, but not all of the overlay has an Outline Development Plan (ODP) for the area contained in the Proposed District Plan. Certification requires the incorporation of an Outline Development Plan (ODP) to be included within the PDP. This ODP approach for development is a requirement of the CRPS¹.
29. There are thirteen (13) existing development areas that were contained in the Operative District Plan. These are set out in the 'existing development areas' section of the Chapter. These are areas that carry forward the zoning within the operative district plan and are either actively in the process of being developed or are still awaiting urban development. Relevant development area controls including the outline development plans have been carried forward from the operative plan. I note that several of these areas have submissions seeking changes to the ODPs or development provisions.
30. There are four (4) new development areas of land, predominantly Rural Lifestyle zone, on the outskirts of Rangiora and Kaiapoi, intended to provide for future growth (primarily residential) over the coming decades. These areas generally align with the Future Urban Development areas within the CRPS but are not already zoned either residential or commercial. Three of these areas are currently undergoing development (North East Rangiora, West Rangiora, and Kaiapoi), with the only the fourth (South East Rangiora) to start development.
31. The distinction between within existing and new development areas is that existing development areas are already zoned and new development areas are those areas identified in Map A of the CRPS.

Existing development within 'new' development areas post notification of the PDP

32. Development within the North East Rangiora area (Bellgrove Stage 2) was authorised under Covid-19 fast track consent, in the West Rangiora area by way of rezoning through Variation 1 (Townsend Fields).

Mapping of development areas

33. The notified planning maps contain an overlay entitled "development area" that covers only the new development areas, rather than showing all of the development areas and distinguishing between existing and new. I consider that this is somewhat confusing and I have recommended, under "minor changes" for to the planning map layers to be amended to show

¹ See policy 6.3.3 – development in accordance with outline development plan, pg 77, CRPS, <https://www.ecan.govt.nz/document/download?uri=4218008>

all development areas, and for them to be distinguished between “existing” and “new”. I consider that these changes can be made under the mandate of the 2019 National Planning Standards and do not need scope within a submission.

An explanation of the Notified certification provisions

34. The ‘certification provisions’ within the chapter are intended to provide a pathway for enabling development within the Future Urban Growth Areas. The ‘certification’ mechanism was proposed given that at the time of undertaking the s32 evaluation as there was insufficient available information to evaluate the appropriateness of specific rezoning outcomes within the development areas.
35. The notified provisions anticipate that land is released within the overlay for development once it is ‘certified’ by the Council Chief Executive or their delegate. Certification is subject to tests, namely technical and specific engineering requirements for servicing, as well as more general assessments for geotechnical and transportation issues. As notified, certification only applies to land zoned as rural lifestyle.
36. Once land is released by certification, the provisions of the Rural Lifestyle Zone are amended by the provisions of the relevant residential zone or other urban chapters, to enable land use and subdivision activities that would have otherwise been a non-complying activity.
37. Certification is not rezoning, the land remains as Rural Lifestyle Zone, until rezoned through either a subsequent plan variation or change process.
38. Certification is primarily a mechanism and pathway falling out of the NPSUD to ensure plan-enabled capacity. Later rezoning decisions may render the certification mechanism unnecessary and surplus to requirements.
39. I analyse and provide recommendations on submissions on the certification provisions in section 9.2 below.

ODPs

40. ODPs include both the development area section-specific provisions, including rules and standards, and the relevant ODP maps.
41. Where the overlay does not have an ODP, an ODP would need to be incorporated into the PDP before land could be certified and released. This would be through a variation or plan change. Alternatively, and as discussed below under “*Relationship with rezoning*”, land could be rezoned, either through the PDP and/or Variation 1 rezoning requests, or through a future variation or plan change.
42. Submitters have not sought the addition of new ODPs. Some submitters have sought changes to existing ODPs, such as to update their content or to merge ODPs.
43. One submitter has sought the addition of a development area overlay on the outskirts of Ohoka, and to place an ODP within the Proposed Plan over this land to enable a development project.

3.2 Relationship with rezoning

44. The DEV provisions have a strong overlap and relationship with rezoning submissions. I consider that the development areas, particularly where ODPs exist, is a form of delayed or deferred zoning, where if the specific tests are met, urban development and subdivision can occur within the Rural Lifestyle Zone without a formal rezoning and through a less onerous activity status.
45. The existing development areas are already zoned to some form of residential or commercial zoning. Where land is in a development area and still zoned as Rural Lifestyle Zone the certification method applies as an option, however, practically it is unlikely to be needed. For example, in the 'existing development areas' the practical outcome of a certification process is already provided for by the existing zoning of the ODPs, where the land is already zoned either commercial or residential.
46. I consider that the test for rezoning is which zone is more appropriate to meet the objectives of the proposed plan and as such would likely require a range of technical evidence to evaluate zoning outcomes. For example, a successful rezoning request within the certification may require either all servicing to be in place or there to be certainty, such as by way of developer agreement or Council work programme, that all servicing and other infrastructure will be in place within the immediate future.
47. However, the outcome of the rezoning submissions, following their hearing, may be that land is rezoned anyway where the evidential case supports it. The evaluation in this report is based on the proposed zoning in the notified version of the plan, giving that hearings on the rezoning submissions will be heard in a later hearing.
48. Where rezoning occurs, the certification provisions for that area of land would essentially become redundant as the provisions of the relevant zone, usually the residential zones, would apply. However, even in this case, the certification provisions would be complementary as they reference the zone provisions, so they would remain in the plan until such time as they may be removed by a future variation or plan change, presumably after all development area land is developed.
49. I consider that the certification and rezoning approaches for subdivision and land development within the DEV work in parallel.

Changes to ODPs

50. I note that the rezoning hearings may result in changes to the ODPs maps and provisions contained with the development areas chapter.

4 Overview

4.1 Report Structure

51. In accordance with Clause 10(3) of the First Schedule of the RMA, I have undertaken the evaluation firstly on a topic and issues basis. Most submissions focused on topics and issues, rather than specific provisions, however there are some submissions that have sought specific change to notified provision. Where submissions have sought specific changes I have addressed these in the “Specific Changes” section.
52. The following evaluation should be read in conjunction with the summaries of submissions and the submissions themselves. Where I agree with the relief sought and the rationale for that relief, I have noted my agreement, and my recommendation is provided in the summary of submission table in **Appendix B**. Where I have undertaken further evaluation of the relief sought in a submission(s), the evaluation and recommendations are set out in the body of this report. I have provided a marked-up version of the Chapter with recommended amendments in response to submissions as **Appendix A**.

5 Format for Consideration of Submissions

53. For each identified topic, I have considered the submissions that are seeking changes to the Proposed Plan in the following format:
 - Topics and issues raised by submitters
 - Assessment
 - Recommendations
 - S32AA evaluation
54. The recommended amendments to the relevant chapter/s are set out in in **Appendix A** of this report where all text changes are shown in a consolidated manner.
55. I have undertaken a s32AA evaluation in respect to the recommended amendments in my assessment.

6 Analysis of submissions

6.1 Strategic Directions – Urban Form and Development

6.1.1 *Matters raised by submitters*

56. Richard and Geoff Spark [183.4] request to amend UFD-P6 *Mechanism to release Residential Development Areas* to delete reference to the certification process, and provide for development capacity to be exceeded, not just met, in order to give effect to the submitter’s request to rezone land in the vicinity of Boys Road and Marsh Road, Rangiora. They request the following amendment:

The release of land within the identified new development areas of Kaiapoi, North East Rangiora and South East Rangiora occurs in an efficient and timely manner via a certification

process to enable residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing bottom lines.

57. This is opposed in further submissions by FS Bellgrove Rangiora Ltd [FS 85].
58. Suburban Estates et al [208.3], John and Coral Broughton [223.5], Rick Allaway and Lionel Larsen [236.7], Dalkeith Holdings Ltd [242.5], Miranda Hales [246.6], 199 Johns Rd [266.13,266.14] request amendment to UFD-P6 to support their requests to rezone. This is opposed in a further submission from FS Christchurch International Airport Ltd [FS 80].
59. Michael and Jean Schluter [FS 89] support Miranda Hales' request for amendments to UFD-P6.
60. Miranda Hales [FS 46] and Michael and Jean Schluter [FS 89] support 199 Johns Rd et al's request for amendments to UFD-P6.
61. Kainga Ora [325.13] request to amend UFD-P6 as it is unclear what the certification process may entail. They consider that the release of new urban land should align with the future development strategy or Council's growth strategy especially the release of land per the timeframes set out in the growth strategy. They request to amend UFD-P6 as follows:

"The release of land within the identified new development areas of Kaiapoi, North East Rangiora and South East Rangiora occurs in an efficient and timely manner generally aligned to the Future Development Strategy or Council's growth strategy via a certification process to enable residential activity to meet short to medium-term feasible development capacity and achievement of housing bottom lines."
62. This is opposed in further submissions by FS Christchurch International Airport Ltd [FS 80] and FS Bellgrove Rangiora Ltd [FS 85].

6.1.2 Assessment

63. I agree with John and Coral Broughton that UFD-P6 also needs to include West Rangiora, and recommend amendment as follows:

UFD-P6 Mechanism to release Residential Development Areas

The release of land within the identified new development areas of Kaiapoi, North East Rangiora, West Rangiora, and South East Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet short to medium-term feasible development capacity and achievement of housing bottom lines.

64. I note that this recommendation reflects the recommendation of Mr Buckley in the Urban Form and Development s42A².

² Para 80 of Mr Buckley's s42A report

65. I do not agree that UFD-P6 needs to be amended as requested by Richard and Geoff Spark and Suburban Estates et al to exceed short to medium term feasible development capacity or enable developments, as UFD-P6 and Council does not drive decisions on certification. Certification is driven by developers, who apply for certification, or certification consents in my proposed amendments. With respect to the “at least sufficient development capacity” wording of the NPSUD I consider that “meet” would include “exceed”.
66. For Kainga Ora, I disagree that Council drives the release of land. Under the NPSUD Council must have sufficient short to medium term plan-enabled capacity, and I consider that the certification process ensures plan-enabled capacity for the short to medium term throughout all of the New Dev area, as the certification rules are a restricted discretionary activity. Restricted discretionary activities meet the requirements of plan-enabled capacity under the NPSUD. Any rezoning requests that are granted are in addition to this plan-enabled capacity.

Primacy assessment

67. For the UFD objectives and policies, which have some bearing on the development areas chapter, I agree with the primacy assessments of Mr Andrew Willis and Mr Mark Buckley. I consider that the DEV objectives and policies align with and assist in implementing the UFD objectives and policies by creating an enabling process to meet NPSUD requirements.

6.1.3 Recommendations

68. That the following outcome for submissions occurs:
- Richard and Geoff Spark [183.4], Suburban Estates et al [208.3], Rick Allaway and Lionel Larsen [236.7], Dalkeith Holdings Ltd [242.5], Miranda Hales [246.6], 199 Johns Rd et al [266.13,266.14], Kainga Ora [325.13] are **rejected**
 - Further submissions FS Miranda Hales [FS 46], FS Bellgrove Rangiora Ltd [FS 85], FS Michael and Jean Schluter [FS 89] are **rejected**
 - John and Coral Broughton [223.5] is **accepted**
69. That the changes to the proposed district plan as outlined above are adopted

6.1.4 Section 32AA evaluation

70. I consider that these changes are minor and ensure that UFD-P6 appropriately lists all of the development areas to which it applies.

6.2 Certification process

6.2.1 Matters raised by submitters

71. Many submitters raised concerns about the certification process, citing subjectivity, and lack of certainty and clarity with how it operates. They requested amendments or that the certification process was removed in favour of outright rezoning. I have not listed all submitters who are opposed to certification here. Submitters also supported it in principle, stating that it is

“innovative”. Some submitters preferred for land to be rezoned in preference to reliance on the certification process.

72. FENZ [303.81] support the proposed new development areas, as they require water supply to be shown to be sufficient to support the proposed development, and request that DEV-NER-P1 be retained as notified.
73. The Ministry of Education [277.65,277.67,277.71,277.73,277.80] are neutral on the certification proposal, but request further clarification on how it will be undertaken to ensure sufficient capacity in current or planned educational facilities, and wish to ensure that public engagement is not foregone.
74. The Ministry of Education [277.72, 277.74,277.75,277.78] also seek specific policy wording to reference capacity in current or planned educational facilities.
75. This is opposed by FS Miranda Hales [FS 46] and FS Michael and Jean Schluter [FS 89] in further submissions.
76. ECan [316.187,316.188,316.189] generally support certification and consider it ‘innovative’, but have concern over the detail of the process and how it gives effect to the directive policies of the CRPS. ECan request the following:
 - Clarify why the South East Rangiora ODP has a minimum requirement of 12hh/ha;
 - Ensure that all natural hazards in FUDAs are assessed and demonstrate that risks can be avoided or mitigated before land is released for development, including risks to surrounding land. Deferring consideration to the subdivision stage is inadequate; and
 - Identify and ensure protection of indigenous biodiversity, especially wetlands.
77. Suburban Estates et al [208.2] oppose the certification process considering it unnecessary, uncertain, complex, and inflexible. They consider that the normal subdivision process is sufficient to achieve efficient development. This is opposed in a further submission from FS Bellgrove Rangiora Ltd [FS 85].
78. Christchurch City Council [360.8] oppose the certification process as it will not enable development to meet demand in the short term. They request to abandon the certification process and rezone the land in the West Rangiora development area. They consider that technical reports to support the rezoning be submitted as part of the process, or alternatively, give immediate affect [sic] to the certification process.
79. This is opposed in further submissions by FS Miranda Hales [FS 46], supported by FS Momentum Land Ltd [FS 63], and Christchurch International Airport Ltd [FS 80].

Telecommunication companies

80. Chorus New Zealand, Spark New Zealand Trading Limited, Vodafone New Zealand Limited [62.58,62.59,62.60,62.61] consider that the certification process for new development areas focuses on transport and 3 waters infrastructure but not communications infrastructure which is considered inconsistent with the NPSUD. They request an operational procedure as part of the criteria for certifying new development areas to ensure that telecommunications network

operators and ideally other non-public infrastructure operators such as electricity and gas distribution have been advised so that they can plan for serving new growth.

6.2.2 Assessment

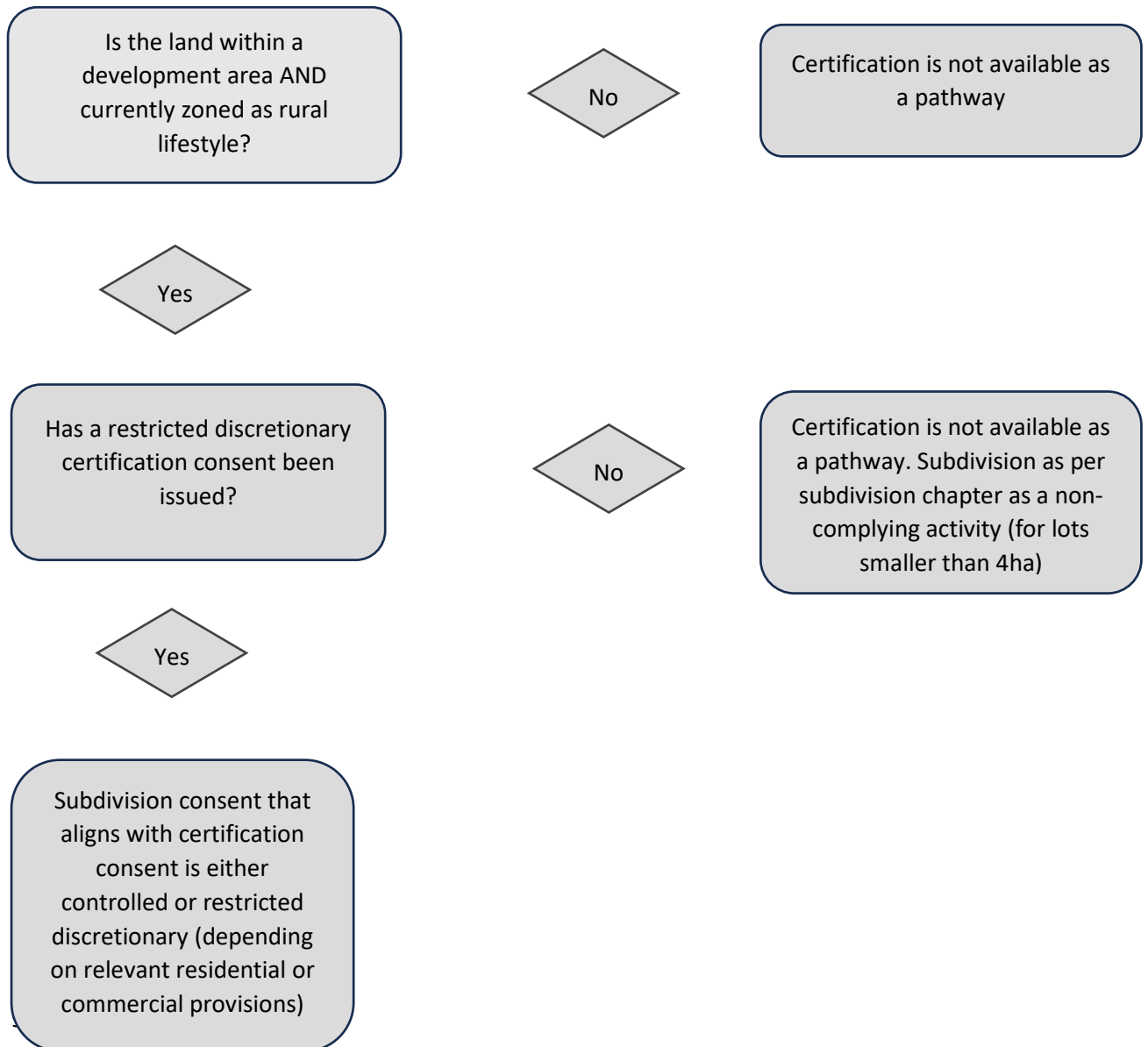
81. I note my discussion above in section 8 about the relationship between certification and rezonings, and how they are parallel processes, and not contingent on each other.
82. My understanding is that it was intended that certification be a relatively simple matter, provided certain specified criteria are met. However, given the subjectivity and particularly the need for technical review of some of the documentation in such certification requests, I agree with submitters that the certification process as notified would not function efficiently and effectively. The matters under assessment for certification, such as geotechnical assessments or hazard assessments, are not suited to a simple Chief Executive Officer approval process, as they can often require detailed peer-review, and further information requests for Council to reach an informed position and decision. Moreover, there may be affected party and/or public interests to consider as well, which the certification process does not explicitly provide for.
83. In my view a more effective and efficient method to achieve the objectives for the new development areas is to undertake the certification assessment by way of a resource consent process. The reason for this is that a framework for assessment of information requirements and potential affected parties already exists within the RMA. to release land for urban development would provide submitters with certainty on how a certification request would be processed, providing for information review and exchange as well as fulfilling Council's wider duties to the public to ensure that affected party and public interests are considered if required through affected party decision making and/or notification.
84. I consider that the certification provisions are a land use activity under s9 RMA, insofar that they enable development of land. The subdivision provisions in the subdivision chapter undertake the s11 RMA function.
85. I have considered these issues, and I recommend that the certification process be replaced with a restricted discretionary activity status 'certification consent' process. The matters of consideration for the notified certification process would become matters of discretion for certification consents.
86. As the notified Development area certification standards were largely the same, apart from some small Rangiora and Kaiapoi specific differences, I consider it best to combine the standards as one overall package, with the Rangiora and Kaiapoi differences explained within them, but to express them as matters of discretion instead.
87. I am recommending amending the development area provisions accordingly, introducing four new rules which reflect at a development area overlay level, the content of the notified development area specific certification provisions, as follows:

Rule	Description	What it does
------	-------------	--------------

DEV-R1	Certification of land for development and subdivision within a Development Area	Outlines the conditions and matters of discretion for release of land for development. These are the same conditions as in the notified development area standards reworked as matters of discretion.
DEV-R2	General development and subdivision of land in a Development Area where certification consent has been approved	Outlines the relevant zone provisions that apply when certification consent has been approved. These are primarily residential, local centre zone and open space zone rules which supersede the underlying rules in the rural lifestyle zone.
DEV-R3	General development and subdivision of land in a Development Area where certification of land has not been approved	Outlines that where certification consent has not been approved, the rural lifestyle zone rules apply.
DEV-R4	Subdivision activities in the Development Area if certification has been approved	Outlines the subdivision provisions that supersede the underlying rural lifestyle zone subdivision provisions if certification consent has been approved.

Flow chart of certification process

88. I have summarised the process and activity status for certification consents enabling subdivision within the development areas as below:



91. For the telecommunications companies, I note that the subdivision chapter provisions already contain an operational procedure around ensuring that these services are in place or will be in place before subdivisions are finally approved. As certification consent occurs before subdivision consent I do not consider there is a need to duplicate the provisions already in the PDP.

Consequential amendments

92. I also consider that a consequential amendment to Table SUB-1 in the subdivision chapter is required to ensure consistency and plan efficiency. I recommend the following addition:

<i>Rural Zones</i>			
General Rural Zone	20ha	n/a	n/a
Rural Lifestyle Zone	4ha	n/a	n/a
Bonus allotment	1ha	n/a	n/a
<u>Rural Lifestyle Zone (where certification consent has been approved)</u>	<u>As set out in the relevant development area chapter provisions for that particular development area</u>		

93. I have discussed this change with the subdivision s42A reporting officers Ms McClung and Mr Buckley. All authors have noted a need to align the proposed certification provisions with the outcomes of SUB table S1, following hearing Stream 8.
94. In recommending these changes I consider that the development capacity is still plan-enabled, as cl 3.4(2) NPSUD defines plan-enabled development capacity as where land is zoned for housing if the housing use is either a permitted, controlled, or restricted discretionary activity. A restricted discretionary certification consent does not change the plan-enabled capacity, and the development capacity assessments will not change as a result.
95. I note that if certification did not exist, and rezoning requests are not approved, then Council may not meet its NPSUD requirements for medium and long term plan-enabled capacity.
96. I also note that extent of the development area overlay is consistent with Map A of the CRPS, and as my recommendations to apply certification only to the development area overlay, my recommendations are thus consistent with the CRPS. I note the following issues:
- The North West Rangiora development area (Doncaster) is outside of Map A and thus outside of the development area overlay, however, it is already but also zoned rural residential 4A in the operative plan, and in the PDP as large lot residential.
 - The South East Rangiora development area is also aligned with Map A, however, the rezoning requests in this area seek additional land beyond the notified overlay boundaries. For the purpose of the evaluation of provisions within the chapter I have not considered the area of land proposed to be rezoned outside of the area shown on Map A.

I reiterate that within this report I haven't considered and I am not pre-empting or promoting rezoning outcomes.

ECan request

97. For ECan I consider the following:

- I agree that the South East Rangiora ODP should have a minimum requirement of 12hh/ha but preferably for 15 hh/ha and recommend this to be changed.
- Flooding and geotechnical risks are a requirement of the matters of discretion for RDIS certification. This may include further involvement from ECan if regional council input is sought at certification consent stage.
- For wetlands, the NESF and NPSFM requirements have changed since the submission was notified, with land being presumed to not be a wetland, unless certain tests are met.
- For Kaiapoi, I note the difference between avoid 'noise sensitive development', and avoid all development under the noise contour, and the notified rule regime which limits allotment size and requires noise sensitive design, rather than preventing all development under the contour. There is also an exception in the CRPS for Kaiapoi, whereby the noise contours do not apply.
- The Kaiapoi development area is not within the coastal environment overlay. I agree that 15 hh/ha should be a requirement, except where natural hazards prevent this. I note that rezoning could still occur for this land, along with RDIS certification.

Ministry of Education request

98. I agree with the Ministry of Education that consideration for school and educational capacity should be considered. However, I consider that New Development Areas are a component of the district development strategies, which traditionally deal with educational capacity at a higher level. I also note that the extent of the Development Area overlay, the likely population increase it will result in, along with the expected demand for educational facilities is known, and this should inform planning by the Ministry in advance. I accept in principle that development should consider the views of the Ministry of Education, but that the appropriate vehicle and time for this is at the higher strategy level than at the RDIS certification process.

Removal of certification

99. For those submitters requesting certification be deleted and replaced with rezoning, I consider that rezoning can still take place on development area land, and rezoning may occur as an outcome of the rezoning hearings in Hearing Stream 12. I also note that in the absence of rezoning that Council is still required to respond to the NPSUD requirements to have sufficient plan-enabled capacity, which is what certification enabled. Accordingly, I cannot support this relief.
100. For Christchurch City Council I consider that short term demand was met by the Covid-19 fast-track consent for Stage 1 of the Bellgrove development, and the rezoning of part of Townsend Fields in the West Rangiora development area under Variation 1. Furthermore, I note my comments above on other submitters that certification and rezoning are parallel processes.

6.2.3 Recommendations

101. That the following outcome for submissions occurs:
- Chorus New Zealand, Spark New Zealand Trading Limited, Vodafone New Zealand Limited [62.58,62.59,62.60,62.61], Richard and Geoff Spark [183.17], Ruth and Bruno Zahner [213.2,213.3,213.5], Dalkeith Holdings Ltd [242.14], Robert Jack Paterson [340.1],

Suburban Estates Ltd et al [208.2], Miranda Hales [246.16], Ministry of Education [277.72], Christchurch City Council [360.8] are **rejected**

- Further submissions Richard and Geoff Spark [FS 37], FS Miranda Hales [FS 46], FS Momentum Land Ltd [FS 63], FS Bellgrove Rangiora Ltd [FS 85], FS Christchurch International Airport Ltd [FS 80], FS Michael and Jean Schluter [FS 89] are **rejected**
- Further submissions FS Miranda Hales [FS 46], FS Bellgrove Rangiora Ltd [FS 85], FS Rachel Hobson & Bernard Whimp [FS 90], FS Waka Kotahi [FS 110] are **accepted**
- Dalkeith Holdings Ltd [57.4], Rachel Claire Hobson and Bernard Whimp [179.2], 199 Johns Rd et al [266.14], FENZ [303.81], Ministry of Education [277.65,277.67,277.71,277.73], Ministry of Education [277.74, 277.75, 277.78, 277.80] Carolin Hamlin [314.1], ECan [316.187,316.188,316.189], Waimakariri District Council [367.36. 367.37,367.38,367.39,367.40,367.41] are **accepted in part**

Variation 1

- Variation 1 submissions Dalkeith Holdings Ltd [v1 57.4], Richard and Geoff Spark [v1 61.2, v1 61.3] are **accepted in part**

102. That the amendments as set out above and in **Appendix A** are adopted.

6.2.4 Section 32AA Evaluation

103. I consider that the changes proposed are minor, but improve the clarity of plan implementation by improving efficiency and understanding.

104. An explicit certification consent process which includes affected party and notification as matter of discretion provides clarity and process compared with the notified certification process which was not explicit about which process would be used for affected party and notification decision-making. For example, if there are multiple landowners within a development area it would be unclear how to consider the views of other landowners outside of the certification consent applicant given the subjectivity in the CEO approval process.

105. I note that the option of going straight to urban zoning for this area will be assessed in the s32AA analysis for the rezoning hearings.

6.3 General submissions on development areas

6.3.1 Matters raised by submitters

106. Alphons and Elisabeth Sanders [118.1] support provision for residential development in West Rangiora, and consider that this area should be zoned as General Residential Zone now

107. Kaiapoi-Tuahiwi Community Board [147.1] are concerned that the new development areas are inadequate to cope with the projected growth of the District, and state that based on current levels of consenting there appears to be only approximately five to seven years of capacity.

108. This is supported in further submissions by FS R J Paterson Family Trust [FS 91], FS Ohoka Meadows Ltd [FS 52]
109. Transpower [195.111] do not oppose the development area provisions but seek that where the National Grid is located in, or traverses, an identified development area, the provisions recognise and provide for the National Grid in a manner that gives effect to the National Policy Statement on Electricity Transmission. It is noted that such an approach is consistent with Policy UFD-P10.
110. 199 Johns Rd et al [266.2] seek that 163,191,199 and 203 Johns Road become the South West Rangiora development area, with new provisions and a new ODP, and that these are integrated with the West Rangiora development area.
111. The Ministry of Education [277.68,277.69,277.70] state that there are inconsistencies and uncertainty between the policies for different development areas and that these should be addressed.
112. The Ministry of Education [277.82,277.84,277.85,277.86,277.87] generally support the advice notes in DEV-WR-AN3, DEV-NER-AN3, DEV-SER-AN3, DEV-K-AN4 and consider that the publication of annual residential capacity calculations and the calculation of residential demand will help the Ministry of Education plan for growth more accurately. They request for these to be retained as notified.
113. Nick and Cilla Taylor [298.6] support the development areas, as they require water supply to be shown to be sufficient. They request the retention of DEV-WR-P1. This is supported in a further submission by FS R J Paterson Trust [FS 91].
114. FENZ [303.80, 303.81, 303.82, 303.83,303.84, 303.85, 303.86, 303.87] support the development areas as the infrastructure within the development areas is required to provide for firefighting flows and on-demand water schemes to have sufficient capacity.
115. Bellgrove Rangiora Ltd [408.1] oppose the PDP in its current form, or request amendment to address matters raised in its submission or such other relief as may be required to give effect to this submission.
116. Templeton Group [412.33, 412.34, 412.35, 412.36, 412.37, 412.38, 412.39, 412.41, 412.40] request to amend the advisory notes in the Existing DA areas to be clear on the relationship between the activity or built form standards and the ODPs.

6.3.2 Assessment

117. For Alphons and Elisabeth Sanders I consider that the development area overlay and certification process is one pathway to enabling development in this area, with rezoning being another pathway available. The rezoning of part or all of this area will be considered in hearing stream 12.

118. For the Kaiapoi-Tuahiwi Community Board, I consider that the Formative report³ has modelled various development scenarios for the District and it concludes that if all New Development Area land was to be rezoned, the District would meet its 30 year development capacity targets. No specific request was provided with the submission.
119. I agree with Transpower that the development area provisions need to be consistent with the NPSET, and where the National Grid intersects or is adjacent to development areas I have considered their specific relief in relation to the specific development areas.
120. For 199 Johns Rd et al, I consider that the integration has already occurred, with the West Rangiora ODP now covering the parcels of land in their submission. However, I am open to further updates to the ODP based on evidence presented at either the stream 10A or rezoning hearings as part of Hearing Stream 12. I disagree on separating the area off into its own discrete development area as I consider that would fragment the development of West Rangiora and there is no impediment to this area developing as part of the overall ODP.
121. For Waka Kotahi I note my recommendation in response to the Ministry of Education in the certification section above, and I also confirm that the changes proposed to the certification process ensure that public input is retained.
122. For the Ministry of Education, I note my recommendations above in the certification section to simplify and streamline the common rules that apply to all development areas, which should address most of their concerns. Their other concerns appear to relate to the differences between general residential and medium density residential zones, as some ODPs show general residential and others show medium density residential. I consider that the final zone choice is a matter for the Variation 1 report author to consider, and following that recommendation, to make the appropriate changes to the ODP if needed.
123. For Bellgrove, I note that this submission is a general submission, and I have analysed and responded to their specific submissions where they fall.
124. For Templeton Group I agree that the current advisory note should be improved as it is unclear. I recommend the following amendments to it:

Advisory Note

- For the avoidance of doubt, where the zone Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or provision shall apply.

6.3.3 Recommendations

125. That the following outcome for submissions occurs:
- That Kaiapoi-Tuahiwi Community Board [147.1] are **rejected**

³ https://www.waimakariri.govt.nz/__data/assets/pdf_file/0021/151455/Waimakariri-Residential-Capacity-and-Demand-Model-September-2023.pdf

- Further submissions FS R J Paterson Family Trust [FS 91], FS Ohoka Meadows Ltd [FS 52], FS Bellgrove Ltd [FS 85] are **rejected**
- Transpower [195.111], Ministry of Education [277.82,277.84,277.85,277.86,277.87], Nick and Cilla Taylor [298.6], FENZ [303.80,303.81,303.82,303.83,303.84,303.85,303.86,303.87], Templeton Group [412.33,412.34,412.35,412.36,412.37,412.38,412.39,412.41,412.40] are **accepted**
- Further submissions FS R J Paterson Family Trust [FS 91] are **accepted**
- Alphons and Elisabeth Sanders [118.1], 199 Johns Road et al [266.2], Ministry of Education [277.68,277.69,277.70], Bellgrove Rangiora Ltd [408.1] are **accepted in part**
- Nick and Cilla Taylor [298.1, 298.3,298.4] and FS F J Paterson Trust [FS 91] are **deferred** to hearing stream 12.

126. That the amendments as set out above and in **Appendix A** are adopted.

6.3.4 Section 32AA Evaluation

127. I consider that these changes are minor and improve plan implementation and efficiency by more precisely explaining how the conflicts between the zone provisions and ODP provisions occur.

6.4 NWR – North West Rangiora Development Area

6.4.1 Matters raised by submitters

128. Transpower [195.112] consider that the NWR development area does not recognise the existence of the national grid transmission lines that traverse it, and does not give effect to the NPSET. Transpower request the following additions to the advisory note in DEV-NWR-APP1:

"For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor."

129. Waka Kotahi [275.83] consider that greenfield development within the NWR outside of the projected infrastructure boundary is likely to encourage the use of private vehicles and proposed pedestrian and cycle connections are limited, and no public transport connections are identified. They request to amend the ODP to include better cycle and pedestrian connections.

130. Doncaster Developments Ltd [290.5] oppose the NWR ODP as it does not provide for housing development of the submitters land. They have proposed an ODP in Appendix I of their submission and reproduced below:

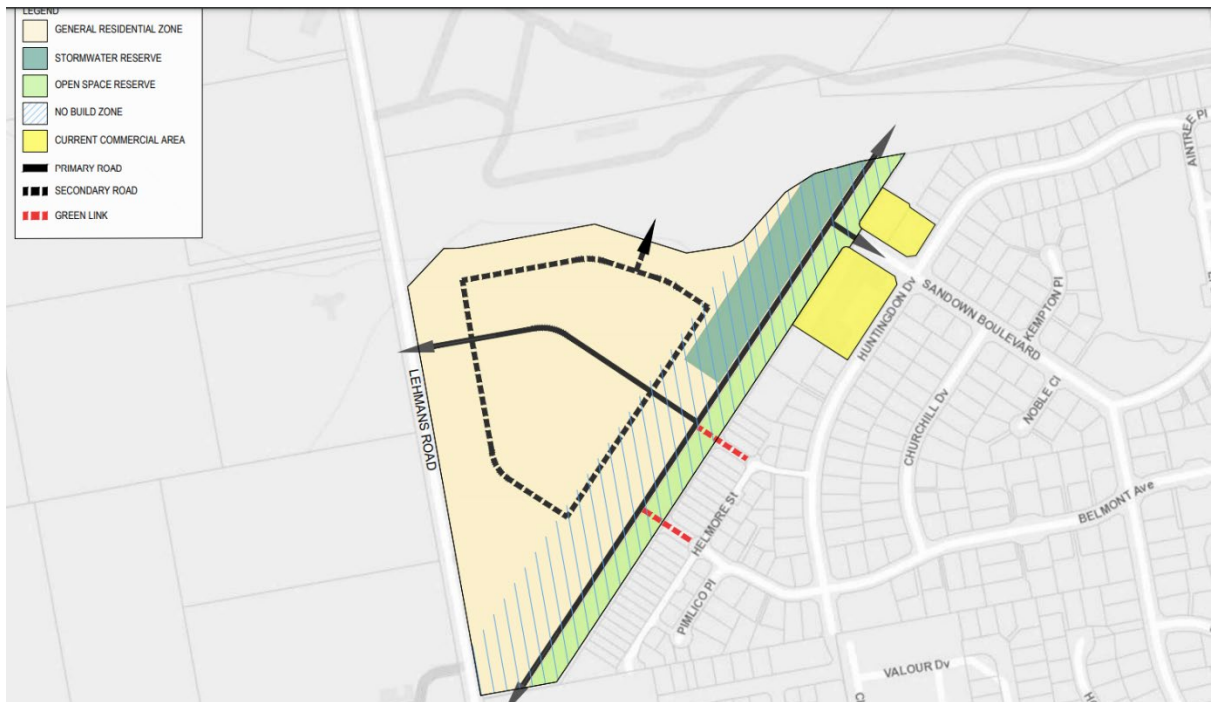


Figure 1 - Doncaster ODP (from Appendix I of their PDP submission)

131. WDC [367.60,367.61] and M & J Schluter [407.3] request a more accurate layer name for the roads within the ODP. They request to change “Proposed Road Design” to “Proposed Road” on the map within DEV-NWR-APP1. M & J Schluter are supported by further submissions from Miranda Hales [FS 46] and R J Paterson Family Trust [FS 91].
132. Templeton Group [412.31] request to amend the wording of DEV-KLFR advisory note to clarify which provisions are intended to be replaced. The wording of the advisory note in several locations including in the Pegasus ODP and LCZ is unclear and confusing.

6.4.2 Assessment

133. I agree with Transpower that the advisory note and ODP should be amended, as they are currently inconsistent with the NPSET. My understanding is that the ODP in the operative plan did not show the transmission lines as they were subject to a specific setback provision within the operative plan and the ODP pre-dated the requirements for identification with the CRPS. There are two transmission lines in this area – the Islington to Kikiwa 220 kV A and B lines, which form part of the core National Grid. It is noted that the ‘Doncaster ODP’ shown in Figure 1 above, shows a ‘No Build Area’ (light blue hatching) applying over the area traversed by the transmission lines and surrounding it.
134. As noted above in Figure 1 the proposed submission ODP has a wide ‘no-build’ zone and an open space reserve next to or under the transmission lines, intended to reduce reverse sensitivity effects and provide for functioning of the National Grid. This would give effect to Transpower’s concerns about the lack of recognition of the transmission lines in the existing PDP notified ODP.

135. I note that although there is a “Proposed Pedestrian Cycleway Access” shown at the southern end of the Pimlico cul-de-sac, I agree with Waka Kotahi that better pedestrian and cycle connections are required into and through the NWR development area. However, I note there are submissions to rezone the area, which may result in technical evidence on transport connections being provided to the rezoning hearings as part of Stream 12 hearings. This may result in recommendations to amend the ODP accordingly. I consider that this matter and the transmission line are appropriate matters to consider for updating the ODP following the rezoning hearings.
136. For Doncaster, the primary developer of this site, I consider that the land in question is currently zoned as residential 4A, which is rural-residential, or low-density residential. The notified PDP recommends Large Lot Residential zoning for this area of land.
137. However, the development area overlay in the notified planning maps does not currently extend over this land, as is the case for all of the existing development areas. I am recommending, as a minor change, that the planning maps are amended as follows:
- Existing development areas receive an overlay entitled “development area”
 - New development areas receive an overlay entitled "development area”
138. As the land is zoned large lot residential, and as the certification provisions apply only to rural lifestyle zones, certification would not apply to the Doncaster ODP. My understanding is that Doncaster are seeking the rezoning pathway to enable general or medium density development on this land.
139. For WDC and M & J Schluter I consider that these matters should be considered at the rezoning hearing stream 12.
140. For Templeton Group, I note the wording changes to the advisory note to clarify how it applies.

6.4.3 Recommendations

141. That the following outcome for submissions occurs:
- Transpower [195.112] is **accepted**
 - Templeton Group [412.31] is **accepted in part**
 - Waka Kotahi [275.83], Doncaster Developments Ltd [290.5], WDC [367.60,367.61], M & J Schluter [407.3] are **deferred** to the rezoning hearing stream 12.
142. I recommend the following amendments to the Proposed Plan:
- Amend Rule DEV-NWR-R1 as follows:

Rule DEV-NWR-R1

Advisory Note

- ~~For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision.~~
- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the activity or built form standard or provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor.

6.4.4 Section 32AA Evaluation

143. I consider that this change better implements the National Policy Statement on Electricity Transmission.
144. These recommendations are specific to this change to the ODP and are not recommendations on zoning outcomes or other features and/or provisions of the ODP

6.5 SBT – South Belt Development Area

6.5.1 Matters raised by submitters

145. Summerset [207.38] consider that DEV-SBT-R1 is different from the rule applied through the decision on Plan Change 29 and subject to technical advice and thorough consideration through the plan change process. They request to amend DEV-SBT-R1 as follows:

As part of any subdivision, any residential allotment shall have a finished ground level ~~that avoids inundation in~~ required to achieve 400mm a 0.5% Annual Exceedance Probability combined rainfall and Ashley River/Rakahuri Breakout event.

146. This is opposed in a further submission from Kainga Ora [FS 88].
147. Summerset [207.39] support DEV-SBT-R2 as it is consistent with plan change 29. Kainga Ora [FS 88] oppose this in a further submission.
148. Summerset [207.40] also request to amend DEV-SBT-R2 to achieve the same outcomes sought via comments on residential design principles and outdoor storage: Retirement villages should not be assessed using the same residential design principles as standard residential developments, and generally deal with outdoor storage and living needs in a different way. They request the following changes:

Matters of control are reserved to: RES-MDX - Retirement Village design principles

149. This is also opposed by FS Kainga Ora [FS 88] in a further submission.
150. Summerset [207.41,207.42] support DEV-SBT-BFS1 and DEV-SBT-BFS2 as notified. Kainga Ora oppose this in further submissions.

151. Waka Kotahi [275.84] support the SBT development area as it is within the projected infrastructure boundary and request it is retained as notified.
152. Templeton Group [412.32] request to amend the wording of DEV-KLFR advisory note to clarify which provisions are intended to be replaced. The wording of the advisory note in several locations including in the Pegasus ODP and LCZ is unclear and confusing.

6.5.2 Assessment

153. For Summerset I assume that means that “in a” in 0.5% AEP event, but even so, the 400mm is not defined in the relief sought. It may mean 400mm freeboard in a flood event. The operative district plan rule (32.1.1.91) and PDP rule DEV-SBT-R1 have the same content. I also note the recommended changes to the Natural Hazards chapter provisions, particularly standards NH-S1, with Mr Willis’s recommendations to use the concept of ‘freeboard’ at low hazard (400mm inundation depth), and medium to high hazard (500mm inundation depth)⁴. Summerset’s concern may be the use of the term “inundation” without reference to a depth, and if so, this would be addressed by amending DEV-SBT-R1 to require NH-S1 to be met. I recommend the following amendments:

DEV-SBT-R1 Finished ground levels as part of subdivision
Activity status: PER

Where:

As part of any subdivision, any residential allotment shall have a finished ground level ~~that avoids inundation~~ consistent with NH-S1 in a 0.5% Annual Exceedance Probability combined rainfall and Ashley River/Rakahuri Breakout event.

154. I understand the submission from Summerset [207.40] to be incorrectly referencing DEV-SBT-R2, whereas their requested relief should be to amend the matters of control in DEV-SBT-R3 *Retirement village*, to be in relation to “Retirement Village design principles” as set out in its submission at [207.37].
155. For Templeton Group, I note the wording changes to the advisory note to clarify how it applies.

6.5.3 Recommendations

156. I recommend the following outcome for submissions:

- Summerset [207.40] is **rejected**

⁴ Pg 70-71, Mr Willis’s Right of Reply on Natural Hazards, https://www.waimakariri.govt.nz/__data/assets/pdf_file/0018/142119/STREAM-3-MEMO-TO-PANEL-AND-UPDATED-RIGHT-OF-REPLY-NATURAL-HAZARDS-.pdf

- Further submissions FS Kainga Ora [FS 88] are **rejected**
- Summerset [207.38,207.39,207.41,207.42], Waka Kotahi [275.84] are **accepted**
- Further submissions FS Kainga Ora [FS 88] are **accepted**
- Templeton Group [412.32] is **accepted in part**

157. That the changes outlined above and in Appendix A are adopted.

6.5.4 Section 32AA Evaluation

158. I consider that the changes proposed better link the DEV-SBT rules with the natural hazard provisions, thus improving plan efficiency.

6.6 KLFR – Kaiapoi Large Format Retail (‘LFR’) Development Area

6.6.1 Matters raised by submitters

159. Waka Kotahi [275.86] support the Kaiapoi LFR development area as it is within the projected infrastructure boundary and request it is retained as notified.

160. Templeton Group [412.30] request to amend the wording of DEV-KLFR advisory note to clarify which provisions are intended to be replaced. The wording of the advisory note in several locations including in the Pegasus ODP and LCZ is unclear and confusing.

6.6.2 Assessment

161. For Templeton Group, I note the wording changes to the advisory note to clarify how it applies.

6.6.3 Recommendations

162. That the following outcome for submissions occurs:

- That Waka Kotahi [275.86] is **accepted**
- That Templeton Group [412.30] is **accepted in part**

6.7 OHOK – Bradleys Road Ohoka Development Area

6.7.1 Matters raised by submitters

163. Waka Kotahi [275.87] support the Bradleys Road development area as it is within the projected infrastructure boundary and request it is retained as notified.

6.7.2 Assessment

164. The submission is in support and no assessment is required

6.7.3 Recommendations

165. That the following outcome for submissions occurs:

- Waka Kotahi [275.87] are **accepted**

6.8 WKP – West Kaiapoi Development Area

166. For clarification, the West Kaiapoi Development Area is routinely referred to as Silverstream.

6.8.1 Matters raised by submitters

167. Waka Kotahi [275.85] support the WKP development area as it is within the projected infrastructure boundary and request it is retained as notified.

168. WDC [367.62,367.63] seek to delete the 'Neighbourhood Road' classification in the ODP as it is no longer applicable and update to 'Local Road' classification and also to update the classification of Island Road between Cosgrove and Ohoka Road from 'Local Road' to 'Collector Road' classification.

6.8.2 Assessment

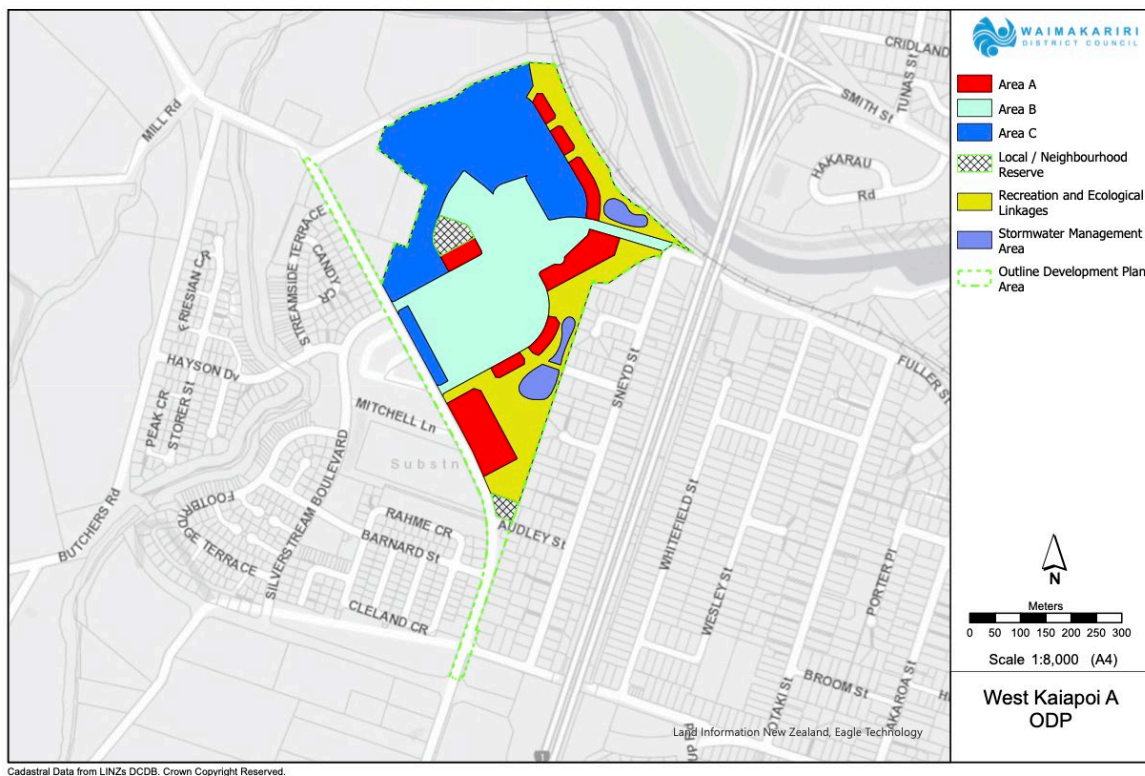


Figure 2 Notified West Kaiapoi Development Area Outline Development Plan

169. I agree with WDC and support changing the names and descriptors of roads in DEV-WKP-APP1 accordingly:

- Neighbourhood Roads become Local Roads
- Island Road between Cosgrove and Ohoka Roads becomes a Collector Road.

6.8.3 Recommendations

170. That the following outcome for submissions occur:

- Waka Kotahi [275.85], Waka Kotahi [275.85], WDC [367.62,367.63] are **accepted**
- Further submissions FS Kainga Ora [FS 88] are **accepted**

171. That the changes outlined above and in **Appendix A** are adopted.

6.8.4 Section 32AA Evaluation

172. I consider that these changes are minor but reflect the current roading practice and traffic levels experienced by these roads.

6.9 EKP – East Kaiapoi Development Area

6.9.1 Matters raised by submitters

173. Cory and Philippa Jarman [107.1] oppose residential development in the East Kaiapoi development area, with a substantive list of concerns, including:

- Privacy and sunlight
- Traffic on narrow Lees Road
- Stormwater and wastewater discharges
- Noise, dust, and pollutant effects on submitter's property
- Loss of amenity and rural outlook from current property
- Natural hazards, including the EKP land being rated orange for tsunamis and having a medium flood risk

174. They request to:

- Retain the rural zoning of the proposed development area
- Provide ecological corridors along the eastern side of Sutherland Drive, with native planting and landscaping to support wildlife and maintain privacy and outlook.
- Provide height restrictions for single storey buildings
- Provide large sections only to limit number of additional houses that would place further demand upon infrastructure
- Provide open spaces in conjunction with the existing Sovereign Estate subdivision
- Provide dim street lighting
- Provide adequate infrastructure/roading facilities.

175. This is opposed in further submissions by FS Bellgrove Rangiora [FS 85] and supported by FS Rachel Hobson & Bernard Whimp [FS 90].

176. Beach Road Estates Limited oppose the notified East Kaiapoi ODP, which covers the Beachgrove subdivision but does not reflect the construction under Stages 1 and 2, the consents for Stages 3 and 4, and the proposal for Stages 5 to 8. They request to delete the notified plan and replace it with the East Kaiapoi ODP attached within their submission.

177. Waka Kotahi [275.88] consider that the East Kaiapoi Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. They seek to retain the East Kaiapoi Development Area as notified.

6.9.2 Assessment

178. For Beach Road Estates, I have compared the notified ODP with the ODP contained within their submission. The respective ODPs are below:



Figure 3 - Notified EKP ODP



Figure 4 - Beach Road Estates ("Beachgrove") ODP, from Appendix 2 of their submission

179. For Beach Road Estates, I consider that as a development consent has been granted for this areas of land post notification of the district plan, and it is in the process of being given effect to, that the ODP should be amended to align with the existing development pattern.

6.9.3 Recommendations

180. I recommend the following outcome for submissions:

- Waka Kotahi [275.88] are **accepted**
- Beach Road Estates [167.6] is **accepted in part**

181. I recommend that the Beachgrove ODP is updated to that contained within their approved resource consents.

6.9.4 Section 32AA Evaluation

182. As development is already occurring in this location according to the updated ODP, I consider that the change will be of no effect.

6.10 MILL – Mill Road Ohoka Development Area

6.10.1 Matters raised by submitters

183. Waka Kotahi [275.89] support the Mill Road development area as it is within the projected infrastructure boundary and request it is retained as notified.

184. Laurie and Pamela Richards [289.1, 289.2,289.3] oppose the provisions controlling subdivision and development within the Ohoka ODP because they do not adequately protect the submitter's land from becoming landlocked in the future. Their ability to subdivide is highly dependent on formation of the roading network depicted in the ODP but the ODP roading pattern may not be achieved due to difficulties that constrain the vesting of Kintyre Lane as a public road coupled with recent subdivision that potentially constrains future use of the alternative primary access road. They request the following additional standards be added to DEV-MILL-BFS2 *Specific access provisions* as follows:

(4) The integrity of the Mill Road ODP roading network shall be maintained to enable future subdivision of other land serviced by the roading network in the manner anticipated by the ODP.

(5) Any subdivision or certification application shall include the written approval of any other land owners within the Mill Road ODP where the application may adversely affect the land owner's ability to service future residential development of their land in the manner anticipated by the ODP.

Amend DEV-MILL-BFS2 to include an Advice Note:

Notification: An application for a non-complying activity under DEV-MILL-BFS2 (4) and (5) this rule is precluded from being publicly notified, but may be limited notified, including to other land owners within the Mill Road ODP who might be adversely affected by the application

185. This is supported in further submissions by FS Wayne Godfrey [FS 50], FS Brenda & Michael Sharpe [FS 57], FS Simon Higgs [FS 116], and opposed by FS Macrae Land Company [FS 113]
186. Reece Stuart MacDonald also raises the Kintyre Road issue, with the opposite approach, opposing the development of the alternative public road if Kintyre Road is not formed as a public road. He seeks the deletion of the alternative public road proposal from the ODP.
187. This is opposed in further submissions by FS Brenda & Michael Sharpe [FS 57], FS Peter & Diane Graham [FS 67], FS Edward Jenkins [FS 109], FS Macrae Land Company Ltd [FS 113], FS Simon Higgs [FS 116], FS Wayne Godfrey [FS 134]
188. The Macrae Land Company [409.1] seek amendments to the Mill Road development area built form standard (DEV-MILL-BFS1) to enable efficient development of the area. They consider that a number of the standards which have rolled over from the operative district plan create constraints or additional costs to development which are no longer necessary or appropriate to manage effects. They request an amendment to the built form standards for site density to set Area A minimum lot sizes at 5000m² and Area B minimum lot sizes at 2500m², stating that there is no reason to distinguish the lot sizes within the Mill Road development area from the rest of the Large Lot Residential Zone, including the adjacent Bradleys Road development area.
189. This is supported in further submissions by Simon Higgs [FS 116] and Wayne Godfrey [FS 113].

190. The Macrae Land Company [409.2,409.3] seek amendments to the PDP to confirm that the LLRZ provisions override the ODP and DEV-MILL provisions where there are inconsistencies. This is supported in further submissions by Simon Higgs [FS 116] and Wayne Godfrey [FS 113].
191. The Ministry of Education [277.66] state that there is no Area C on the ODP and request to clarify where the building restriction Area C is.

6.10.2 Assessment

192. The background to this development area is as follows:

- It was introduced into the operative district plan through plan change 17, and decided upon in the Environment Court. Plan change 17 became operative on 9 December 2013.
- The ODP shows the Kintyre Road issues and resulting scenarios if Kintyre Road is formed and if Kintyre Road is not formed.



Figure 5 Notified Mill Road Development Area Outline Development Plan

Kintyre Lane and Other Roding Matters

193. I have considered the Kintyre Road issue and understand the difficulties and potential contingencies that could arise across multiple landowners depending on which roading option is adopted, and the need to ensure that affected party interests are still considered. I have also considered this issue more generally, insofar as certification consents should require effects on neighbouring landowners and occupiers within the relevant ODP area to be assessed, affected party approvals to be undertaken and provided, and if not, the usual consenting process of limited or full notification could occur.

194. I recommend amending DEV-R1 to add the following matter of discretion:

Effects on landowners and occupiers within and adjacent to the ODP area.

195. For the requests to reduce the allotment size in the Mill Road development area, I note the Environment Court consent order on plan change 17, which approved the notified allotment sizes of 1ha (10,000m²) for Area A and 4000m² for Area B, with an average area for all allotments of no less than 5000m², which the DEV-MILL-BFS1 density standards currently enact and which are consistent with the Large Lot Residential zoning provisions. I do not support relief which would be inconsistent with the plan change 17 consent order.

196. For the Macrae Land Company, I consider that the proposed new DEV rules address the issue of potential inconsistencies, making it clear that the development area provisions in DEV-MILL-APP1, or any other development area chapter for that matter, apply.

197. For the Ministry of Education, I note that Area C exists on the operative ODP (map 160), but this was not carried across into the proposed ODP. Rule DEV-MILL-BFS3 states:

DEV-MILL-BFS2 Specific access provisions

There shall be no increase in the number of allotments with vehicle access to Kintyre Lane unless and until it is vested as a public road.

There shall be only one public road connecting to Mill Road.

Provision shall be made for a road connection to the land to the north in the location identified on DEV-MILL-APP1.

Area C is a small 70m radius from an existing dwelling in part of Area A, as shown below:

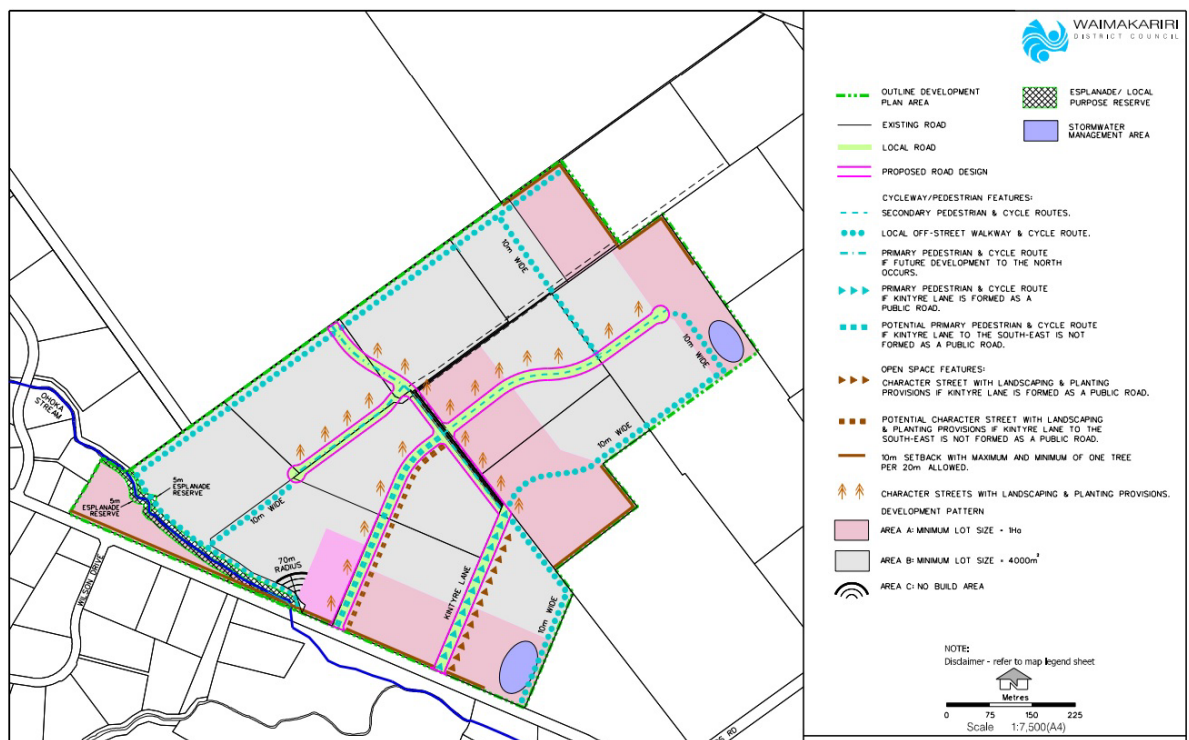


Figure 6 Operative ODP for Mill Road Development Area

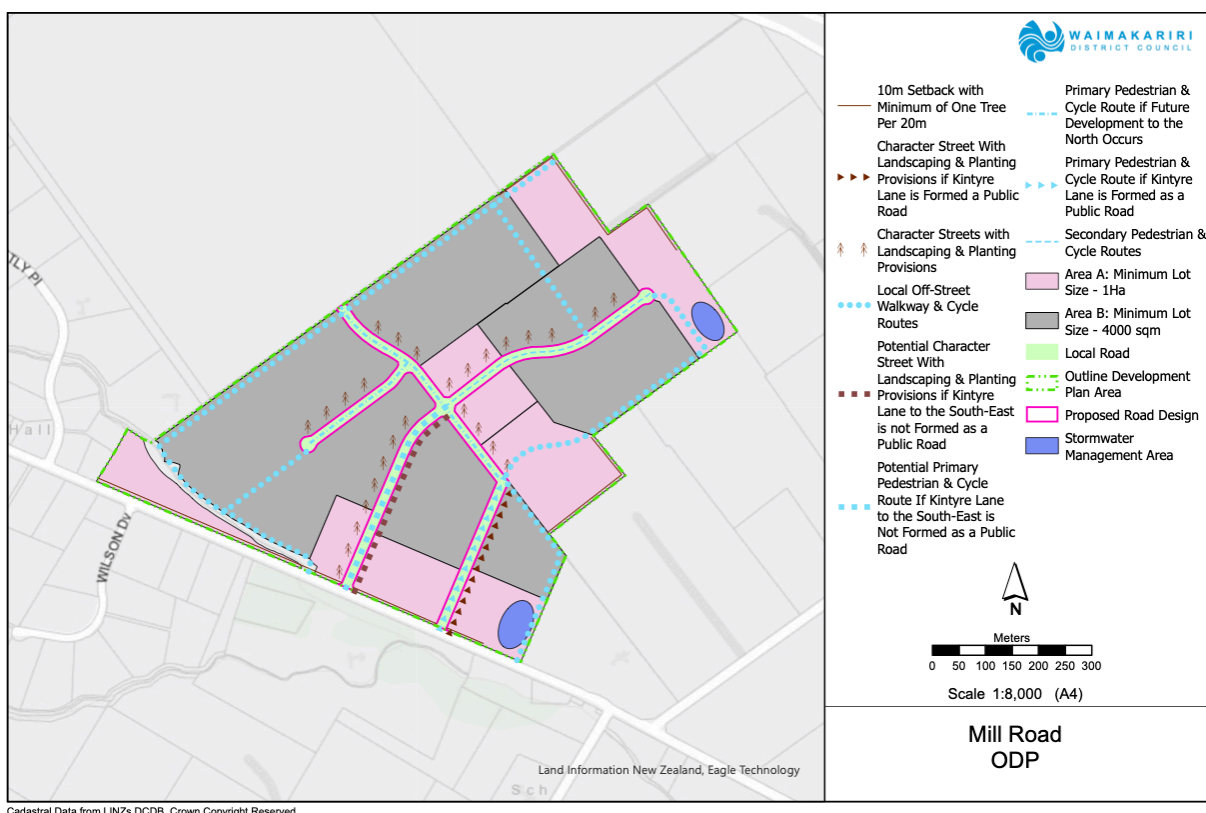


Figure 7 Proposed ODP for Mill Road Development Area

198. I consider that the proposed ODP should be updated accordingly, with the Area C provisions incorporated.

6.10.3 Recommendations

199. That the following outcome for submissions occurs:

- Macrae Land Company [409.1,409.2,409.3] are **deferred to rezoning hearing 12**
- Further submissions FS Brenda & Michael Sharpe [FS 57], FS Peter & Diane Graham [FS 67], FS Edward Jenkins [FS 109], FS Macrae Land Company Ltd [FS 113], FS Simon Higgs [FS 116], FS Wayne Godfrey [FS 134] are **deferred to rezoning hearing 12**
- Waka Kotahi [275.89], Ministry of Education [277.66] are **accepted**
- Laurie and Pamela Richards [289.1, 289.2,289.3], Reece Stuart MacDonald [308.1,308.2,308.3] are **accepted in part in relation to affected party issues only**
- Further submissions FS Wayne Godfrey [FS 50], FS Brenda & Michael Sharpe [FS 57], FS Simon Higgs [FS 116] are **accepted in part in relation to affected party issues only**

200. That the amendments outlined above and in Appendix A are adopted

9.1.1 Section 32AA Evaluation

201. I consider that the changes proposed improve plan implementation by ensuring that all landowner interests and potential contingencies related to the roading network at Mill Road, Ohoka, can be considered at certification consenting stage, thus improving plan implementation efficiency. I consider that the changes to the ODP to include the Area C rectify an error in the proposed plan development.

6.11 NWD – North Woodend Development Area

6.11.1 Matters raised by submitters

202. Waka Kotahi [275.90] consider that North Woodend Development Area is located outside of the Projected Infrastructure Boundary and request to retain North Woodend Development Area as notified.
203. Ravenswood Developments Ltd [347.93,347.94] request to update the name of the Outline Development Plan to Ravenswood ODP instead of North Woodend ODP and to update the ODPs as follows:

- A large scale ODP for the wider Ravenswood development (residential and commercial areas) in Appendix 1 of the Ravenswood submission
- A smaller scale ODP inset focusing on the Ravenswood commercial area (Appendix 1a)

6.11.2 Assessment

204. I have reviewed the commercial s42A assessment of Mr Willis and agree with his recommendation that the matters raised in the submission are best addressed within Hearing Stream 12.

6.11.3 Recommendations

205. That the following outcome for submissions occurs:
- Ravenswood [347.93,347.94] are **deferred** to the rezoning hearings.
 - Waka Kotahi [275.90] are **accepted**

6.12 SBK – Southbrook Development Area

6.12.1 Matters raised by submitters

206. Transpower [195.113] consider that the SBK development area does not recognise the existence of the national grid transmission lines that traverse it, and does not give effect to the NPSET. Transpower request the following additions to the advisory note in DEV-SBK-APP1:

For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid

Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor.

207. Waka Kotahi [275.91] consider that Southbrook Development Area is outside of the Projected Infrastructure Boundary. It is a rollover from the Operative District Plan and provisions in the Transport Chapter can manage access to the state highway, however SH71 is a Limited Access Road and any new access will require separate approval from Waka Kotahi. They request to retain Southbrook Development Area as notified.
208. The Waimakariri District Council [367.47] and M & J Schluter [407.1]⁵ request to amend the Southbrook ODP to reflect sheet 154 of the Operative District Plan. They request to amend DEV-SBK-APP1 to include the proposed stream diversion and overland drainage system from sheet 154 of the Operative District Plan. I have replicated this sheet below:

⁵ Supported in further submissions by FS Miranda Hales [FS 46] and FS R J Paterson Family Trust [FS 91]

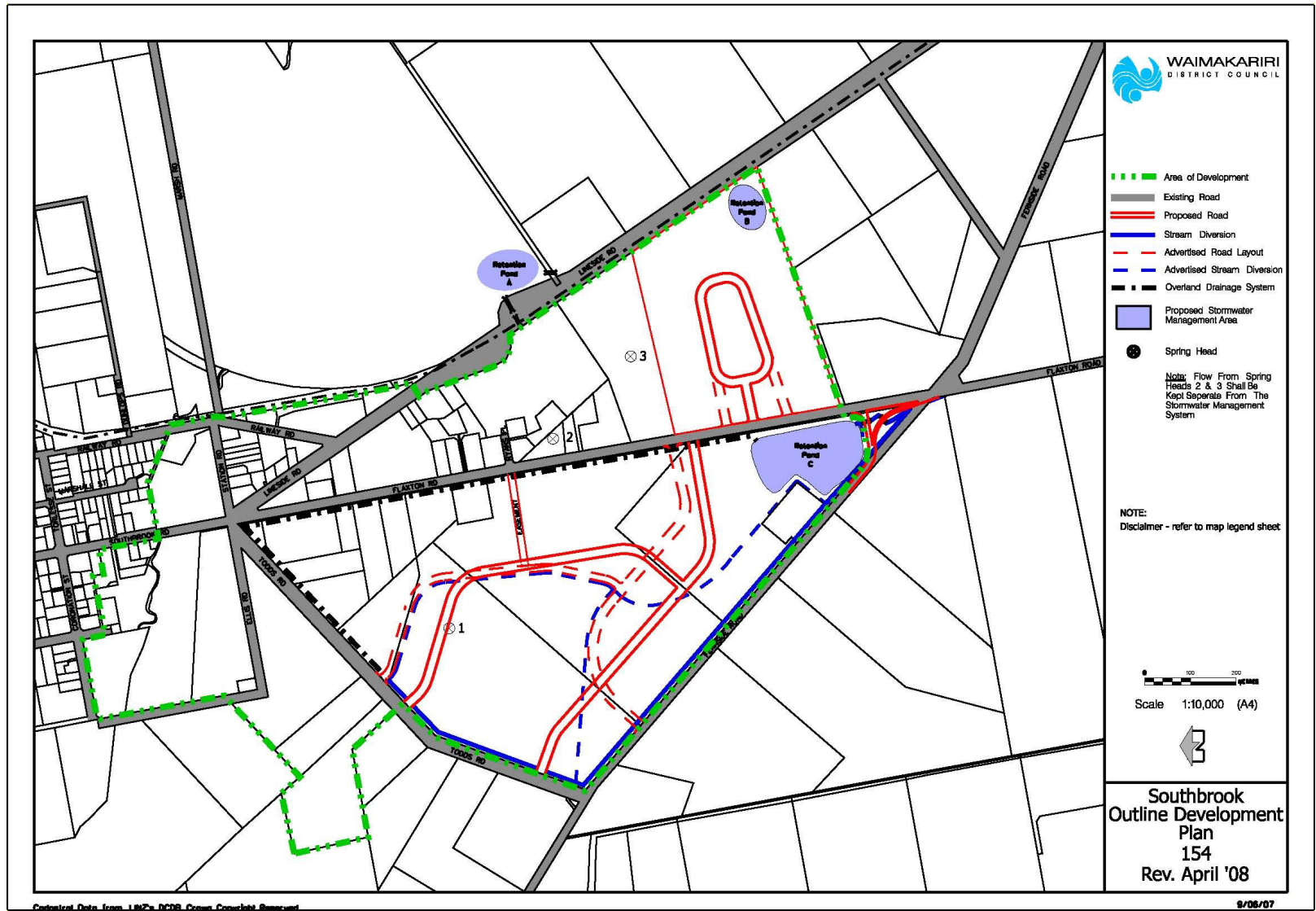


Figure 8 Sheet 154 from Operative District Plan



Figure 9 Notified PDP Outline Development Plan

6.12.2 Assessment

209. I agree with Transpower that the advisory note and ODP should be amended, as they are currently inconsistent with the NPSET.
210. I agree with the WDC that the ODP should be amended to add the proposed stream diversion and overland drainage system.

6.12.3 Recommendations

211. That the following outcome for submissions occurs:
- Transpower [195.113], Waka Kotahi [275.91], WDC [367.47], M & J Schluter [407.1] are **accepted**
 - Further submissions FS Miranda Hales [FS 46] and FS R J Paterson Family Trust [FS 91] are **accepted**
212. I recommend the following amendments to the Proposed Plan:

Rule DEV-SBK-R1

Advisory Note

- ~~For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the provision.~~
- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor.
- Amendments to the notified ODP to add the proposed stream diversion and overland drainage system

6.12.4 Section 32AA Evaluation

213. I consider that this change better implements the National Policy Statement on Electricity Transmission

6.13 EWD – East Woodend Development Area

6.13.1 Matters raised by submitters

214. Malcolm Grant and Wendy Joyce Rowse [258.1] have raised concerns that the alignment of the intersection at 63 Eders Road, Woodend is not aligned appropriately. They outline that based on a 2007 commitment from Council that the proposed north-south road in the EWD development area should follow property boundaries, but that the burden of realigning the

intersection is being placed on 63 Eders Road only, when it affects 63 and 78 Eders Road. They request to realign the last few metres of the proposed road on both 63 and 78 Eders Road.

215. Malcolm Grant and Wendy Joyce Rowse [258.2] accept the layout of the proposed north-south road as shown on the ODP (map 153). They request for this road to be built in accordance with the Council's proposal of 4 May 2009.
216. Waka Kotahi [275.92] consider that while the eastern part of the East Woodend Development Area is located within the Projected Infrastructure Boundary and is a logical extension, the remaining part is not immediately adjoined to other rural zones and therefore, pedestrian and cycle connections may not be frequently used. They request that further consideration is given to intensification of this area.
217. WDC [367.17] request to amend the East Woodend Outline Development Plan to correct map details. They request the following amendments:
- Amend Eders Road from Collector Road to Local Road.
 - Align intersection of Local Road that runs north to south (from Gladstone Road to Parsonage Road) through Eders Road in order to improve intersection safety.
 - Widen section of Eders Road that runs north to south located on the east of the ODP so it extends towards the west to become a width of 18m as per Local Road classification.
 - Expand 'Outline Development Plan Area' layer outwards to encompass all roads affected by East Woodend ODP.
 - Amend first bullet point of second paragraph in Introduction of EWD - East Woodend in Part 3 (Existing Development Areas) as follows:

"a ~~collector~~-local road linking Woodend Beach Road with Petries Road"

6.13.2 Assessment

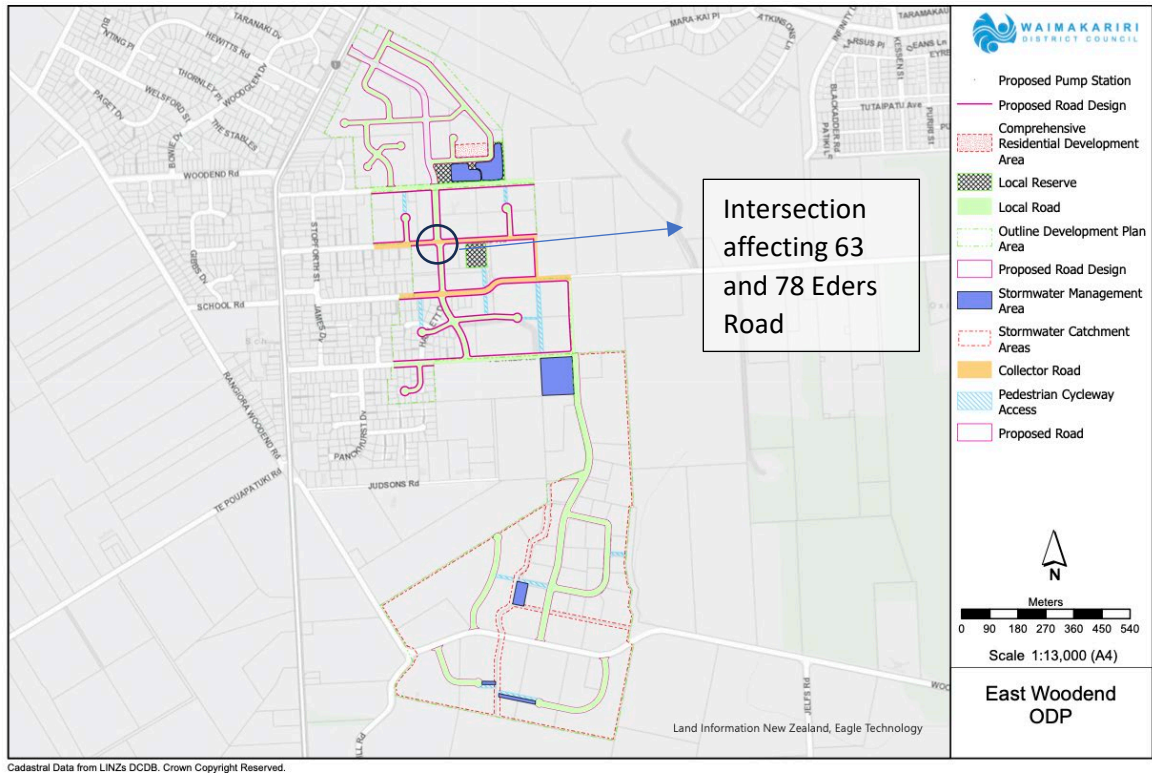


Figure 10 Notified East Woodend Development Area Outline Development Plan (with Eders Road issue overlaid)

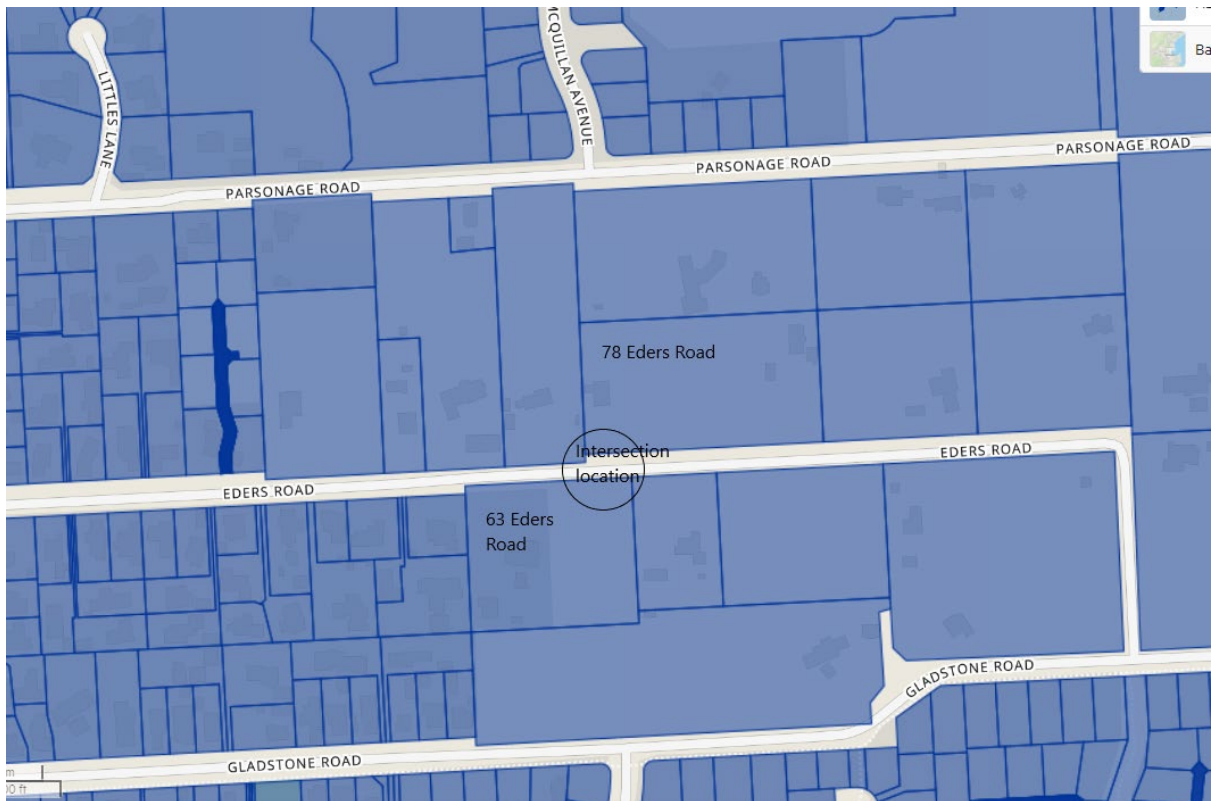


Figure 11 Close up of Eders Road issue

218. For Malcolm Grant and Wendy Joyce Rowse I consider that they support the road outline as per the ODP, however, their request is for a minor adjustment to the road outline sufficient to ensure that the loss of property to the road is shared more equitably between their property at 63 Eders Road and the property at 78 Eders Road. Given that they support the proposed road location in the ODP and noting that the property boundaries to the north and south of Eders Road do not align exactly, the specific nature and location of the road is a matter for future assessment as part of development within the ODP.
219. For Waka Kotahi, I consider that further evidence on connections such as pedestrian and cycle connections may be given in rezoning hearings, and that the ODP could be updated as a result of these.
220. I agree with WDC that these changes are required as they reflect upgrades in the roading network and/or changes in traffic density.

6.13.3 Recommendations

221. That the following outcome for submissions occurs:
- WDC [367.17] is **accepted**
 - That Malcolm Grant and Wendy Joyce Rowse [258.1,258.2], Waka Kotahi [275.92] are **accepted in part**
222. That the changes outlined above and in Appendix A are adopted

6.13.4 Section 32AA Evaluation

223. I consider that the changes proposed by WDC are minor and update the plan's descriptor of roads to their current status.

6.14 MPH – Mapleham Development Area

6.14.1 Matters raised by submitters

224. Waka Kotahi [275.93] state that DEV-MPH-R1 refers to access from State Highway 1, however, there is no access from the Mapleham Development Area (existing or proposed). This may be a drafting error and instead of State Highway 1 should refer to Pegasus Boulevard. They request to amend DEV-MPH-R1 as follows:

Access to ~~State Highway 1~~ Pegasus Boulevard from the DEV-MPH-APP1 area shall be limited to the two locations (Mapleham Drive) as shown on DEV-MPH-APP1, provided that:

...

2. the access road located near the southern boundary of the zone shall serve all other sites in the zone and shall adjoin the common boundary of the adjacent property to the south for a minimum distance of 30m from ~~State Highway 1~~ Pegasus Boulevard into the zone.

6.14.2 Assessment

225. I disagree with Waka Kotahi as DEV-MPH-R1(2) relates to the access road within the MPH development area, ensuring that it is a minimum distance from SH1, rather than connecting to SH1. However I note that the operative plan ODP covered a larger area than what the ODP currently covers, as most of the development has already been undertaken. I consider that there is no need for DEV-MPH-R1 as the roading aspect of the development has already occurred. I recommend that DEV-MPH-R1 be deleted.



Figure 12 Operative District Plan ODP for Mapleham



Figure 13 Notified ODP for Mapleham

9.1.2 Recommendations

226. That the following outcome for submissions occurs:
- Waka Kotahi [275.93] is **accepted in part**

227. That DEV-MPH-R1 is deleted

6.14.3 S32AA Evaluation

228. I consider that this change updates the plan and improves plan efficiency.

6.15 NRG – North Rangiora Development Area

6.15.1 Matters raised by submitters

229. The Canterbury District Health Board [68.21] oppose the North Rangiora ODP in DEV-NRG-APP1 insofar as it relates to Rangiora Hospital as it shows a stormwater management area on its site. As the CDHB may wish to intensify hospital activities on this site, this stormwater management area reduces this potential. They request for the stormwater management area to be deleted from the North Rangiora ODP, or for the site to be excluded from having to comply with DEV-NRG-APP1 or DEV-NRG-R2.
230. Waka Kotahi [275.94] state that the North Rangiora Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. They request to retain the North Rangiora Development Area as notified.

6.15.2 Assessment

231. I agree that the stormwater management area on the hospital site is no longer required and agree that this should be removed. I have confirmed this with Council's engineers, who have stated that there is no need for a stormwater detention area on this property⁶.

6.15.3 Recommendations

232. That the following outcome for submissions occur:
- Waka Kotahi [275.94] and Canterbury District Health Board [68.21] are **accepted**
233. For changes, I recommend that the North Rangiora Development Area is amended by removing the stormwater detention area on this part of the ODP.

6.15.4 Section 32AA Evaluation

234. I consider that this change is minor as the stormwater system for this ODP has already been built and the remaining stormwater area is no longer needed for the hospital site.

⁶ Email Kalley Simpson, Friday December 8 2023

6.16 PEG – Pegasus Township Development Area

6.16.1 Matters raised by submitters

235. Waka Kotahi [275.94] consider that the Pegasus Township Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. They request to retain the Pegasus Township Development Area as notified.

236. Templeton Group [412.24, 414.25] are concerned that:

- The ODP for Pegasus Township Development area does not include any commercial areas and the residential area outline is difficult to read. -
- The ODP for Pegasus may have already been given effect to, in which case, the ODP should be deleted, but that many provisions are tied to the ODP framework and thus ambiguity exists for new development.
- If rules need to be relocated they should be placed in the relevant district-wide or area specific matter chapter.
- Amend the objectives, policies, and rules to ensure that the absence of an outline development plan (if deleted), does not prejudice development of the Local Centre Zone.
- Relocate DEV-PEG-BFS1 to the Medium Density Residential Zone chapter
- If required, relocate DEV-PEG-R4,R5,R6 to part 2 district-wide matters and part 3 area specific matters as appropriate, or alternatively, clarify the location of the commercial areas within the ODP and the location of the residential outline area.
- Amend the wording of DEV-PEG-R7 to clarify which provisions are intended to be replaced, as the wording of the advisory note in a number of locations including in the Pegasus ODP and LCZ is unclear and confusing. Amend the advisory note to state which provisions are being replaced by other provisions.

6.16.2 Assessment

237. For Templeton Group, I agree that the ODP for Pegasus is out of date. However, I note that as Pegasus township is not yet fully developed, there are provisions within DEV-PEG that are still relevant to manage existing and new subdivision and development.

238. My recommendation is instead to update the ODP by aligning the zoning existing residential and commercial areas with the ODP. I note that there are rezoning requests within Pegasus and that following the rezoning hearing may or may not result in further changes to the ODP to ensure alignment.

6.16.3 Recommendations

239. That the following outcome for submissions occur:

- Templeton Group [412.24,412.25] are **accepted in part**
- Waka Kotahi [275.95] are **accepted**

240. That Appendix DEV-PEG-APP1 Pegasus ODP be amended to show residential and commercial zones.

6.16.4 Section 32AA Evaluation

241. I consider that these changes are minor, and simply overlay the existing residential and commercial zoning onto the Pegasus ODP. I note that Pegasus is almost fully developed, however, there are still locations where development can occur, and as such, the ODP should show zoning.

6.17 WR – West Rangiora Development Area

6.17.1 Matters raised by submitters

242. John and Coral Broughton [223.15] request to amend DEV-WR-APP1 to enable their rezoning request at 113 and 117 Townsend Road to proceed. They have requested amended wording within the land use plan section of the ODPs for the West Rangiora development area.

243. Miranda Hales [246.2] requests the deletion of all medium density areas from DEV-WR-APP1 West Rangiora ODP and instead wishes to discuss potentially suitable locations, presumably for medium density development, within the ODP narrative, to give effect to her request to rezone 126 Lehman's Rd.

244. 199 Johns Rd et al [266.10,266.11,266.12] support DEV-WR-O1, DEV-WR-P1 and DEV-WR-P2 and consider that the development area and its certification process is appropriate for future development as it will help provide for residential demand in the medium term (3-10 years).

245. 199 Johns Rd et al support [266.13] support DEV-WR-S1 however they consider that processing timeframes are not mentioned and that the proposed three year lapsing period for certification approval creates a timing anomaly in terms of the subdivision's section 224(c) RMA certificate, as these are usually 5 years.

246. In their submission on Variation 1, 199 Johns Rd et al [58.10,58.11] and Eliot Sinclair [59.10,59.11] are opposed to the activity status of DEV-(S)WR-R1 as a permitted activity, preferring a controlled activity status for this certification process. They are also opposed to the inclusion of fixed outline development plan features that specifically relate to the wider West Rangiora development area which is not being specified as an existing development area. They are opposed on the basis that the location of medium density over the whole site and the locations of some required features are outside of the ODP and not relevant to the subject site.

247. Jonathon Renwick [114.1] supports provision for residential development in West Rangiora and requests that the entirety of the area is rezoned general residential to meet the demand for new houses. He requests the following amendments to the ODP:

- Opposed to the movement network as the new primary road from Oxford Road to Johns Road is unnecessary as good roads already exist. Straight roads become a 'racetrack'.
- Remove the new straight through road from ODP.

- Rezone all of the WR development area to general residential
248. Nick and Cilla Taylor [298.1,298.3,298.4] support future residential development to provide a range of housing opportunities as an urgent need and consider new residential activity West Rangiora Development Area (WR) is appropriate. They consider that WR should be zoned General Residential Zone as there is demand now to develop this area for housing consistent with SD-O2.
249. This is supported in further submissions by FS R J Paterson Family Trust [FS 91].
250. Nick and Cilla Taylor [298.5] oppose the proposed West Rangiora Movement Network as described and shown in the Outline Development Plan. They consider that a new straight through road between Oxford and Johns Road is unnecessary and poor urban design. They request to delete the road from the ODP and amend DEV-WR-APP1 to delete reference to the road. They consider that Oxford Road, Lehmans Road, Johns Road, and West Belt provide excellent connections to and beyond West Rangiora.
251. Stephen Gordon Glen-Osborne [33.1] support inclusion of the West Rangiora Development Area in the Proposed District Plan, including Objectives and Policies and provision for Medium Density Residential Zones. Support Outline Development Plans as proposed. Include West Rangiora Development Area and associated Outline Development Plans and related Objectives and Policies in District Plan. Retain Medium Density Residential Zones in West Rangiora Development Area. He requests to retain 63 Oxford Road and 212 Johns Road in West Rangiora Development Area.
252. Georgia May Glen [34.1] supports the West Rangiora Development Area, including objectives and policies and provision for medium residential density zones. Support Outline Development Plans as proposed. She requests to retain the West Rangiora Development Area and associated Outline Development Plans and related objectives and policies. She requests to retain medium density zones in West Rangiora Development Area. She also requests to retain 63 Oxford Road and 212 Johns Road in West Rangiora Development Area.
253. In their submission on Variation 1, M & J Schluter [76.2,76.3] support DEV-WR-R1 and DEV-WR-R2. This is supported in further submissions by R J Paterson Family Trust [FS 19].
254. In their submission on Variation 1 Kainga Ora [80.59, 80.60] support the new medium density areas within the West Rangiora development area, but request that the discrepancies between the extent of the MRZ area as shown on the ODP and the underlying zone maps is addressed. This is supported in a further submission by R J Paterson Family Trust [FS 19].

6.17.2 Assessment

199 Johns Road et al submissions

255. For 199 Johns Rd et al, I agree that the timeframes should be aligned, and recommend amending the lapse period to 5 years but also to align it with the s223 RMA survey plan process. I note that the notified plan replicates the certification process for each development area, however my recommendations above in section 8 are to apply the certification process

to the development areas as a whole, through the proposed DEV-R1, rather than individually in each development area, so my recommendations are to this standard:

If a s2234 certificate under the RMA has not been granted by the District Council within three five years of the date of approval of the certification consent, the consent will lapse.

256. For the request on the certification rule (DEV-WR-S1) I consider that the certification process has been redefined as a 'certification consent', which is a s9 land use and s11 subdivision consent relaxing the rural lifestyle zone subdivision provisions if the tests in the DEV rules are met. It is still a permitted activity, however this is respect of enabling the later subdivision consents, which are a controlled activity. The subdivision consents remain as a controlled activity status under Table SUB-1.
257. For their request on the ODP, I note that the West Rangiora ODP applies to just area outlined in the ODP. The wider area does not have an ODP, and if and when it receives an ODP, that ODP will apply accordingly.
258. I consider that John and Coral Broughton's request is now unnecessary as subdivision consents have already been authorised for this area, and 113 and 117 Townsend Road no longer exist as parcels of land.

Other submissions

259. I consider that Miranda Hales' request is also unnecessary, as the certification provisions do not affect her rezoning application, will be considered in hearing stream 12.
260. For Jonathan Renwick I consider that the ODP anticipates the traffic densities resulting from the development and provides roading capacity accordingly. Driving behaviour on those roads is not a matter for the district plan.
261. For Nick and Cilla Taylor I consider that transport assessments undertaken when designing the ODP and proposed development consider that the traffic densities and connectivity requires the proposed road. For their rezoning request I recommend that this is deferred to hearing stream 12.
262. For Kainga Ora I note that the ODP was developed before Variation 1 and the Resource Management (Enabling Housing Intensification) Amendment Act, and that the areas of general residential in the ODP are now medium density residential.

6.17.3 Recommendations

263. That the following outcomes for submissions occur:
 - Jonathon Renwick [114.1], John and Coral Broughton [223.15], Miranda Hales [246.2], Nick and Cilla Taylor [298.5] are **rejected**
 - Further submissions R J Paterson Trust [FS 91] are **rejected**
 - 199 Johns Rd et al [266.13], Nick and Cilla Taylor [298.6], Stephen Gordon Glen-Osborne [33.1] are **accepted**

- Further submissions R J Paterson Trust [FS 91] are **accepted**
- Nick and Cilla Taylor [298.1,298.3,298.4] and FS R J Paterson Family Trust [FS 91] are **deferred** to hearing stream 12

Variation 1

- 199 Johns Road [58.11], Eliot Sinclair [59.11] are **rejected**
- M & J Schulter [76.2,76.3] are **accepted**
- Further submissions R J Paterson Family Trust [FS 19] are **accepted**
- 199 Johns Rd et al [58.10], Eliot Sinclair [59.10], Kainga Ora [80.59,80.60] are **accepted in part**

264. That the proposed amendments above and in Appendix A are adopted

6.17.4 Section 32AA Evaluation

265. I consider that the proposed recommendations would result in a better alignment of the plan rules with consenting processes, in particular, to overlap and bookend the standard 3 years RMA timeframe for s224c certificate lapsing, providing a period of 2 additional years to advance the subdivision consent after certification consent has been obtained.

6.18 NER – North East Rangiora Development Area

6.18.1 Matters raised by submitters

266. David Whitfield [96.1] requests for water, sewage, and stormwater to be provided to Golf Links Road from the subdivision at 52 Kippenburger Avenue.
267. Nick Thorp [109.1] considers that he is disproportionately affected in options for their land as the esplanade requirements entail surrendering over 20% of one property and 30% of another. He seeks mitigating or sharing the impact over a wider group of property owners including residents.
268. Lamb and Hayward Ltd [163.1] are concerned that increased residential activity abutting their site could restrict their funeral related services and that future expansion on their site could be restricted by the NPSUD, unless these activities are permitted within residential areas. They request an appropriate objective or policy framework to support this recognition. This is supported in a further submission by FS Bellgrove Rangiora [FS 85].
269. Lamb and Hayward [163.2] also request that a buffer is placed on their northern boundary to reduce the possibility of adverse effects and reverse sensitivity.
270. Lamb and Hayward [163.3] are concerned about the intersection control along Kippenburger Avenue and the proposed new road into the Bellgrove development being a stop sign, which would restrict right turning traffic into their site. They request either a roundabout or traffic lights.
271. Rachel Claire Hobson and Bernard Whimp [179.1] request to include 518 Rangiora-Woodend Road within a new development area given its proximity to the proposed North East Rangiora

Development Area and the South East Rangiora Development Area, citing its adjacency to a major arterial road, and the expected growth rate of Rangiora.

272. This is supported in a further submission from themselves [FS 90] and opposed by FS Marcus Obele [FS 39].
273. Waka Kotahi [275.97] support the inclusion of a Medium Density Residential Zone within the North East Rangiora Development Area, however further consideration could be given to increasing the size of this zone to encourage densification and better multi-modal and public transport connections to meet UFD-P2.
274. The Ministry of Education [277.76] are concerned that a connecting road to the new north/south road to east belt will go through Rangiora High School land. They note that no decisions have been made on the location of the High School in the future, and as such, the road appearing on the ODP is inappropriate. They request the following amendments:
- DEV-NER-APP1 Fixed Outline Development Plan Features for the North East Rangiora Development Area:
- ...
- ~~A road to connect the new north/south road to East Belt.~~
- ...
275. The Ministry of Education [277.77] state that the secondary Option B of the road connecting directly to Keir Street is preferable to them and request additional wording in APP1 accordingly.
276. These both are supported by FS Bellgrove Rangiora Ltd [FS 85] in a further submission.
277. The Rangiora High School Board of Trustees [149.1] are generally supportive of proposed change of land use in the North East Rangiora Development Area as they are positive for the wider community that the school serves, and the Board owns land in the NER that is used for equine, agriculture, and horticulture education purposes. Land use for medium density residential will not be compatible with the educational purposes, and other possible land use provided for in the proposal will be consistent with the Board's objectives. [The Board] is concerned about increasing reverse sensitivity from surrounding land owners towards the agricultural activities. These risks can be managed through carefully planned development activities and by ensuring that the land able to be used for educational purposes is not reduced.
278. James Lennox requests to rezone 35 Golf Links Road as a development area and seeks that stormwater, sewage, and water be provided to the boundary. This is opposed by FS Bellgrove Ltd [FS 85] and supported by FS Rachel Hobson & Bernard Whimp [FS 90] in further submissions.

Bellgrove submissions

279. Bellgrove Rangiora Ltd [413.1] request that the PDP is either rejected in its current form, or that the Bellgrove Rangiora submission points also apply to their land, insofar as they wish to

develop the site. This part of the Bellgrove development was processed through the covid-19 fast track process, rather than the PDP.

280. Bellgrove request the following:

- [408.100] When Bellgrove is rezoned from rural to residential via the certification process for new development areas, it is important to ensure that the site's current 'non-urban flood overlay' provisions still apply to the site, which would typically be within the 'urban flood assessment overlay' and subject to NH-R1. Ensure that the flood overlays and relevant provisions are appropriately carried over following the certification process for new development areas.
- [408.66,408.67,408.68,408.69, 408.70,408.78, 408,79, 408.80, 408.81] generally supports DEV-NER-O1, DEV-NER-P1, DEV-NER-P2, the certification process to release land within the NER, DEV-SER-S1, DEV-NER-AN1, DEV-NER-R1, DEV-NER-R2, DEV-NER-R3, DEV-NER-R4, DEV-NER-R5.
- [408.71] delete Option A for the NER development area given that this option is no longer available due to the outcome of discussions with the High School.
- [408.72] suggests that within areas identified for Medium Density Residential, that a minimum of 70% MDRZ and a maximum of 30% GRZ density should be achieved. Bellgrove support this ratio but consider that the labelling of this area as medium density is confusing and visually suggests that all lots within this area on the ODP are to be less than 500m². Supports that where identified constraints to development are present that a reduced density of 12 hh/ha is achieved. This is especially supported for areas such as the Stage 1 development where the homestead heritage item and existing overland flow path restrict potential lot layouts. Revise the label used on the ODP land use plan so it is clearer that within the medium density area 30% of that land can be developed to the general residential standards. Delete a reference to a neighbourhood centre in the land use text
- [408.73] supports the location of the primary and secondary roads in the NER ODP movement plan and support that this plan only shows the more significant roads for the area. However whilst the specific roading classification is ultimately determined at the time of development, this has the potential to create confusion over what is meant by secondary road, but given this plan only identifies more significant roads for the area, it is assumed this would be designed to operate as a collector road standard, or similar. It is also unclear what road design standards from the transport chapter should be applied to the formation of these roads.
- Minor amendment is sought to the alignment of the secondary road connection south-west of Devlin Avenue given it does not reflect the proposed roading layout for Bellgrove Stage 1. The secondary road connection is proposed further to the west to ensure the spacing between the intersection with Devlin Avenue complies with the minimum road intersection separation distance listed in TRAN-S2 of 125m.

- Minor amendment is also sought to the primary road connection to Golf Links Road to better reflect the proposed layout of Bellgrove proposed for Stages 2-3.
- [408.74] support identification of two open space areas and flexibility around exact location of open space in the NER ODP – open space and stormwater. Minor changes are sought to the location of the centrally located reserve to ensure it aligns with the latest development plans for the site. On site investigations have not identified any springs on site (within 52 Kippenburger Avenue) and these are anticipated to be downgradient of the site. The word “springs partway along’ could imply that there are springs partway along the flow paths within this area which is incorrect. Amend to make it clear that springs have only been identified in the south eastern corner of the ODP area and not throughout the development area.
- Amend to note that the land between the two flow paths does not contribute runoff to both the Taranaki Stream and Cam River (this land only contributes to the Cam / Ruataniwha River)
- Support the flexibility provided that acknowledges alternative stormwater solutions could be proposed on the basis that the flow of river into the Taranaki Stream and Cam River are maintained and all future lots in the stormwater catchments can discharge into the appropriate basins. Seek the addition of the word ‘generally’ noting that for Stage 1 the modelling is likely to result in post flow proportions that are not exactly the same but within 5% of current flows for each flow path.
- Minor amendments are sought to the Open Space and Reserves Plan to reflect the fact that the extent of stormwater reserve required along the eastern boundary of 52 Kippenburger Avenue (Part RS 267) is greater than that shown (the indicative size shown on the notified plan is smaller than that known to be required). The Cam/Ruataniwha River extent shown on the ODP extends too far west. Based on site investigations the Cam / Ruataniwha River overland flow path is predominantly only present to the western boundary of 78 Kippenburger Avenue Rangiora (Lot 1 DP 79128).
- Delete green link shown to the north of the ODP area as it does not align with any flow channel and/or proposed roading alignment. Amend the open space and stormwater reserve plan for the NER ODP.
- [408.75] The ODP shows that the new pump station required to serve the North-East Rangiora development area referred to in the south-eastern corner of the site is incorrectly shown on Golf Links Road near the intersection with Rangiora Woodend Road. Instead this will be located within 52 Kippenburger Ave (Pt RS 267) and established as part of Stage 1 of Bellgrove just to the north of Kippenburger Avenue (west of the intersection with Devlin Avenue).
- [408.76] Several improvements and subtle changes are sought to the notified ODP. Also Option A is no longer required and should be deleted to reduce confusion and improve readability. Delete Option A.

- [408.77] Bellgrove consider that the location for the medium density and general residential development should not be a fixed feature, enabling the developer to determine where the different densities of residential development are best placed within the site. This is in accordance with the amendments sought to the plan for these to be superseded as a general 'residential' area. All Outline Development Plan text should refer to the commercial centre being a 'local centre' for consistency.
- Reference to an Option A and Option B land use outcome should be deleted (all Option B plans should simply be referred to as the plan). Ensure the commercial centre within the North East Rangiora Outline Development Plan is referred to as a local centre.
- Reword the 'Fixed Outline Development Plan Features for the North East Rangiora Development Area' text to be:
"Location of a concentration of medium density residential activity (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) in the southwest of the Outline Development Plan (Option A) or south of the Outline Development Plan (Option B) as well as immediately adjacent to the local/neighbourhood centre"
- "Location of the local/neighbourhood centre at the north/south road corridor, in proximity to a flow path"

6.18.2 Assessment

Bellgrove submissions

281. Bellgrove have requested a list of changes to the ODP. I note that these changes predate Bellgrove receiving Covid-19 fast track consents for stage 2 of the development, which is now underway. As such, the PDP provisions have been superseded by the consent. I support updating the NER ODP narrative text and maps to match the approved Bellgrove consents accordingly.
282. For Lamb and Hayward's request for a policy framework to enable funeral services within residential environments, I consider that the current general and medium density residential zones do enable these., such as through RES-O4 - Small-scale non-residential activities that take place in residential areas support the function of local communities. A funeral home is a small-scale non-residential activity supporting the functioning of a local community, and as such, I consider that the funeral home is appropriately enabled, and protected against reverse sensitivity. I also note that it is on a large lot.

Buffer around funeral home

283. For Lamb and Hayward Ltd [163.2], I consider that given that they operate a funeral home, that requesting a buffer between their land and the development is good planning practice. Their current resource consent (1999) does not list cremation as an activity to take place on site, and I am not aware of this activity taking place there, which may reduce the likelihood of

reverse sensitivity, however, I agree in principle that it would be good planning practice to have a buffer in place. The submitter has not provided evidence on the nature and type of a buffer however, and I am conscious that if a buffer was to encroach on neighbouring land, it would affect development plans and capacity. Whilst I am open to recommending amendments to the ODP to provide a buffer, I would require evidence on the nature of such a buffer, and the neighbouring landowners and primary developer (Bellgrove Rangiora Ltd) would need to consider it.

284. I note that the primary road and shared pathway on the eastern side of their site may already provide a buffer.

Kippenberger Avenue Intersection Design

285. I note that the intersection has already been built which has superseded the submission. The intersection is a roundabout, which may have alleviated the concerns raised by Lamb and Hayward. As the intersection already exists, I cannot consider the relief and recommend rejecting it, unless the submitter has other aspects on this which they wish to raise at the hearing.

Others

286. For Waka Kotahi, I do not consider that UFD-P2 is directive on other plan provisions. There may be updates to the ODP as a result of the rezoning submissions and hearings, which could lead to the outcome that Waka Kotahi desire, but it will not be in response to the UFD-P2 strategic policy.
287. For the Ministry of Education, I note that the ODP is a long term outline of development in the area, and landowner permission from the school would be required to develop the road, however I agree that the text for the ODP should acknowledge that permission from the school is required. They have proposed the following text for addition to DEV-NER-APP1 which I agree with:

...Option B, which retains the education precinct within its current footprint, enables less medium density residential development in the south-west of the Development Area however retains the current extent of Rangiora High School's farmland for use by students

288. This is similar to the Rangiora High School Board of Trustees submission, who have similarly requested that the farmland be protected. Bellgrove [408.77] have also sought that Option A, which involved the school farmland, be deleted from the ODP. As all parties are in agreement, and also as the development at Bellgrove is now underway under their Covid-19 fast-track subdivision consents, I recommend that Option A be removed from the ODP text.
289. For James Lennox I note that 35 Golf Links Road, and the surrounding properties on the west side of Golf Links Road are within the NER ODP development area already.
290. For Bellgrove, I note the submission content that says that an agreement to purchase 78 Kippenburger Avenue, which includes the accessway parcel has been made with the property owner. This now supersedes the original submission and concern.

Extension of NER development area east of Golf Links Road

291. For Rachel Claire Hobson and Bernard Whimp, I consider that the first requirement of any extension of a development area is an outline development plan, as this is a requirement of the CRPS. The submitter has not supplied an ODP to consider, and as such, I cannot assess any proposed inclusion of this site into an adjacent development area at this time.

6.18.3 Recommendations

292. That the following outcome for submissions occurs:
- Bellgrove Rangiora Ltd [408.66, 408.67, 408.78, 408.79, 408.80, 408.81, 408.82] are **accepted**
 - Lamb and Hayward [163.1, 163.3], Rachel Claire Hobson and Bernard Whimp [179.1], Waka Kotahi [275.97] are **rejected**
 - Further submissions FS Bellgrove Rangiora [FS 85], FS Rachel Claire Hobson and Bernard Whimp [FS 90] are **rejected**
 - Further submissions FS Marcus Obele [FS 39], FS Bellgrove Rangiora Ltd [FS 85], FS Rachel Hobson & Bernard Whimp [FS 90] are **accepted**
 - Rangiora High School Board of Trustees [149.1], Lamb and Hayward [163.2, Ministry of Education [277.76, 277.77], Bellgrove Rangiora Ltd [413.1, 408.100, 408.68, 408.69, 408.70, 408.71, 408.72, 408.73, 408.74, 408.75, 408.76, 408.77, 408.78,] is **accepted in part**
293. I recommend the following:
- That Option A is deleted from the ODP text
 - That the ODP maps for the NER development area are updated to reflect the approved Bellgrove subdivision consent ODPs.
 - These changes are shown in Appendix A.

6.18.4 Section 32 Evaluation

294. I consider that as the Bellgrove development has already been approved by subdivision consent, that updating the NER ODP to reflect it will have no effect on plan implementation and efficiency.

6.19 K – Kaiapoi Development Area

6.19.1 Matters raised by submitters

295. David Colin, Fergus Ansel Moore, Momentum Land Ltd [173.1] request medium density residential zoning across the Kaiapoi Outline Development Plan area, and state the risk for developers as there is no certainty of development capacity until the certification process has been completed and the appropriate zoning is determined by Council. They that the Kaiapoi ODP is amended to medium density, and that rezoning be undertaken in advance of certification. They also request that the enabling policy for retirement villages in residential zones be retained.

296. This is opposed in a further submission by FS Christchurch International Airport Ltd [FS 80]
297. Waka Kotahi [275.99] support the inclusion of a Medium Density Residential Zone within the Kaiapoi Development Area, however further consideration could be given to increasing the size of this zone to encourage densification as the land proposed to be zoned Medium Density is limited. They also seek further consideration of connections for active transport modes to reduce private vehicle reliance, including connections to the existing bus stops (park and ride locations) in Kaiapoi. Further, they consider the area zoned Medium Density Residential Zone (and the potential to increase this area) and seek to incorporate better multi-modal and public transport connections to better reflect UFD-P2.
298. The Ministry for Education [277.81] consider that any increased development or changes in development in the Kaiapoi Development Area have the potential to impact on educational facilities in terms of school capacity, transport effects, amenity, and more. They seek that the ODP considers impacts on educational facilities and seeks ongoing consultation from Council and developers as the development area is progressed. They support the proposed infrastructure that facilitates active transport and improves safety.
299. The Kaiapoi North School [6.1] requests that Council and future developers meet with the Ministry of Education and Kaiapoi North School Principal to discuss any residential development plans to ensure capacity of school network to cope with the increase in children, access, traffic safety, biking/walking to school, and impact on drainage from new development areas.
300. ECan [316.190] and WDC [367.13] support the minimum net density of 15 households per ha (hh/ha) in the new Residential Development Areas, or 12hh/ha where there are constraints. They are unclear why Kaiapoi Outline Development Plan (DEV-K-APP1) specifies a minimum of 12hh/ha. They request to use a regular plan change process rather than certification to address issues including airport noise, high flood hazard areas, indigenous biodiversity and wetlands, and coastal inundation risk.
301. Jay Jolly [75.1], Dawn Revell [80.1], Allan Charles [81.1], Faye Andrea Rose [94.1] seek the following outcomes if land is rezoned in the Kaiapoi development area:
- Partially support residential development in the Kaiapoi Development Area. Enjoy the current 'country outlook', quality of life and the nature and wildlife and would like to see an ecological green belt along the east side of Sutherland Drive to retain this. It would adjoin the green belt which runs along Sutherland-Brockelbank-Fergus.
 - Consider street light placing and dimness so people can enjoy the night sky.
 - Concerned about traffic safety at the Williams/Pinacres turn off as intersection is dangerous and difficult with traffic not adhering to speed limit.
 - Decent sized sections with off street parking for residents should be considered.
 - Concerned about dust and noise pollution as it adversely affects mental health, property cleanliness and dust related allergies. Ensures the development includes the following:
 - - Ecological corridors along the east belt for native wildlife.
 - - Traffic management reviewed.

- - Decent sized sections and streets for off street parking.
- - Dust and noise pollution kept to a minimum for respect of mental health.
- Seek an ecological green belt east of Sutherland Drive to retain birdlife.
- More vehicles will put pressure on already overloaded roads from Pegasus to the Waimakariri River due to increased subdivisions. Concerned if there are enough schools and services to sustain extra growth.
- Seeks dimmer street lights to preserve the night sky.
- Retaining the quality of the environment is paramount.
- Ensure Kaiapoi Development Area includes ecological corridors, dimmer street lights, similarly sized sections and open spaces to the adjoining Sovereign Palms subdivision, and adequate infrastructure.
- Support the General Residential Zone in the Kaiapoi Development Area, conditional to section sizes being similar to the adjoining subdivision, and an ecological corridor being formed to mitigate effects of habitat reduction and fragmentation, and promoting passage of fauna. Indigenous flora provide amenity attributes and opportunities for recreation and environment education.
- Consider that the sky is not excessively affected by street light pollution. Light pollution disrupts ecosystems and washes out starlight.
- Require developers of the Kaiapoi Development Area to include section sizes, roads and streetscaping similar to the adjoining Sovereign Palms subdivision, ecological linkage spaces with indigenous plantings adjoining existing open spaces to form an ecological corridor, and install street lighting that limits light pollution.
- Oppose Kaiapoi Development Area overlay because:
 - Developing the area east of Sovereign Palms as residential is risky due to its orange tsunami zoning meaning it may be flooded multiple times in a person's lifetime
 - The area has high groundwater, along with significant flood risk from localised flooding events due to rainfall, in addition to the tsunami threat
 - Increased housing density will increase nutrients which will promote waterway algal growth and therefore adversely affect wildlife, and could also be harmful to young children and
 - Additional residential development will reduce habitat and further disconnect the Lakes Reserve for the passage of fauna from the surrounding streams, lakes and the few remaining mature trees. Retain Rural Lifestyle zoning of the Kaiapoi Development Area.
- If this is not possible, then ensure any development of this area includes:
 - Retention of remaining mature trees along Lees Road
 - A wide nature strip/swale along the back of the existing eastern Sutherland Drive properties to enable stormwater runoff, retain habitat and passage for the local fauna, and mitigate the orange tsunami zoning and
 - Low density development, i.e. large lifestyle sections which will retain the existing rural nature of area, in order to maintain the quality of life of existing residents and wildlife.

6.19.2 Assessment

302. For David Colin, Fergus Ansel Moore, Momentum Land Ltd [173.1] I consider that they misunderstand the interface between certification process and rezoning. Both processes are available for people wishing to upzone their land, as one can apply for certification or rezoning. They are not contingent on each other. I also note that Variation 1 upzoned all residential land in Kaiapoi to medium density by replacing the general residential zone. This means that all land classified as general residential in the ODP is medium density residential under Variation 1. I cannot support their relief.
303. For Waka Kotahi I consider that the residential land in the Kaiapoi ODP is medium density residential as Variation 1 has already upzoned it. I also consider that UFD-P2 is not directive on plan provisions and if the ODP is ultimately amended to include such matters as the submitter raises it will be in response to submissions and evidence within the rezoning hearings, rather than the strategic policy.
304. For the Ministry of Education I note my recommended changes in the certification section to include educational capacity as a matter that needs to be considered when developments are certified in such areas.
305. For the Kaiapoi North School I note that Council cannot require developers to meet with the school but can encourage the submitter to remain involved with the hearings process to ensure that their interests are considered.
306. For Jay Jolly, Dawn Revell, Allan Charles, and Faye Andrea Rose, I consider that most of their concerns are addressed by the development area ODP provisions, the general and medium density rules and standards, and the open space rules and standards. I have also considered their concerns around the loss of starlight and dark night sky, and note the light provisions for new residential zones that limit irradiance to 4 Lux between the hours of 10pm to 6am, and requiring a 20 degree plane on the streetlights, or any outdoor light, to avoid glare. I note that this is more stringent than the current district plan rules which these submitters may see in action in their already built part of Kaiapoi.
307. For ECan and WDC I agree that the density should be amended to 15hh/ha as a standard except where constraints exist, in which case the density should be 12 hh/ha. For their concerns on certification, I note that certification and rezonings are parallel processes and both are available for developers to utilise. Both processes should have the same assessment of the hazards and risks as outlined in ECan's submissions as a result of my recommended amendments to the certification process. I support amending DEV-K-APP1 as follows:

The Medium Density Residential Zone enables a minimum lot size of 200m² while the General Residential Zone enables a minimum lot size of 500m². Overall, the Kaiapoi Development Area shall achieve a minimum residential density of 15 households per ha unless there are identified constraints to development, in which case no less than 12 household per ha shall be achieved

6.19.3 Recommendations

308. That the following outcome for submissions occurs:

- David Colin, Fergus Ansel Moore, Momentum Land Ltd [173.1], Albert David Jobson [288.1] is **rejected**
- WDC [367.13] is **accepted**
- Further submissions FS Christchurch International Airport Ltd [FS 80] are **accepted**
- Kaiapoi North School [6.1], Jay Jolly [75.1], Dawn Revell [80.1], Allan Charles [81.1], Faye Andrea Rose [94.1], Waka Kotahi [275.99], Ministry of Education [277.81], ECan [316.190] are **accepted in part**

309. I recommend that the changes outlined above and in Appendix A are adopted

6.19.4 Section 32AA Evaluation

310. I consider that these changes are minor, but align the Kaiapoi development area requirements with other development areas, and in doing so, improves plan implementation.

6.20 SER – South East Rangiora Development Area

6.20.1 Matters raised by submitters

311. Richard and Geoff Spark [183.15] support in part 'Part 3 – Area Specific Matters – New Development Areas – South East Rangiora' and request it to be retained in part.

312. This is opposed by FS Bellgrove Rangiora Ltd [FS 85] in a further submission.

313. Waka Kotahi [275.98] support the inclusion of a Medium Density Residential Zone within the South East Rangiora Development Area, however they suggest further consideration could be given to increasing the size of this zone to encourage densification as the land proposed to be zoned Medium Density is limited. They note the Outline Development Plan shows good cycleway connections to wider Rangiora township. They request to consider the potential to increase the area zoned Medium Density Residential Zone.

314. The Ministry of Education [277.79] support provision of an educational facility in the South East Rangiora development area, noting that one will be required in the area due to anticipated population growth, however no site selection has been undertaken. They request the site for the new educational facility be treated as indicative, and that the marked site in the ODP be deleted and replaced with the following text in DEV-SER-APP1:

"It is subject to Ministry of Education consideration whether an additional primary school is required in the South East Rangiora Development Area in the future to service its catchment. It could be feasible that preschool(s) are established in the Development Area. The provision of new educational facilities can be provided within the Development Area or in the wider area albeit subject to a needs assessment."

315. WDC [367.12] request to amend the appendix as the reference to 12 households per ha is inconsistent with other development areas and does not align with RESZ-P14 development density rule. They request to amend DEV-SER-APP1 as follows:

Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved.

316. Gregory E Kelley [391.1] at 379 Rangiora Woodend Road is concerned regarding the future potential development of the SER area. He states the following concerns:

- Drying up of Cam River due to drainage, stormwater channels and dry wells in the Northbrook/Goodwin Street area
- Existence of wetlands and springs with native species (crayfish/koura)
- Property connected to artesian springs through existing well and aquifer
- Setbacks from water sources in development proposal area are not well defined and insufficient.
- Seek consideration and assurance of the protection of the Cam River and local fauna
- Seek protection of water supply.
- Also rezone 479 Rangiora Woodend Road to Residential/General Residential Zone

317. This is supported in a further submission by FS Rachel Hobson & Bernard Whimp [FS 90]

318. In their submission on Variation 1, Richard and Geoff Spark [61.2,61.3] support the South East Rangiora Development Area in principle, however they request that references to the feasibility of development are removed from the DEV-SER narrative, as nearby developments have been successful with similar ground conditions, and market prices also affect feasibility. They are opposed to the certification process given its uncertainty and highly discretionary nature.

Bellgrove submissions

319. Bellgrove [408.83,408.84,408.85,408.86] generally support certification, but note that the medium density rules referred to in DER-SER-O1, DEV-SER-P1, DEV-SER-P2, DEV-SER-AN1.

320. Bellgrove request the following changes to the SER ODPs and provisions:

- [408.87, 408.91] The extent of the development area needs to be altered to capture the full extent of Bellgrove South by including the whole of Lot 2 DP 452196 in the development area.
- Support that overall, the development area shall achieve a minimum residential density of 12 households per ha. Support flexibility that areas of medium density development will be determined based on layout and market demand provided an overall density outcome of 12 households per ha is achieved. To further assist this flexibility seek that residential areas be labelled 'Residential' as opposed to 'General Residential' and/or 'Medium Density'.
- Delete 'General' and 'Medium' density instead referring to all residential areas as 'Residential'.

- Include the entire extent of Lot 2 DP 452196 in the ODP area.
- Delete reference to a neighbourhood centre.
- [408.88] the provision of both a primary road and a secondary road for the northern portion of the South-East Rangiora Outline Development Plan area is not efficient. Instead a single primary road (with cycleway) that runs as an extension to Devlin Avenue would be more appropriate.
- While the specific roading classification is ultimately determined at the time of development so as to provide flexibility and the ability to match the eventual roading classification made operative through the Proposed District Plan, this has the potential to create confusion over what is meant by 'secondary road'. Given this plan only identifies 'more significant roads' for the area, it is assumed that this would be designed to a 'Collector Road' standard, or similar.
- Unclear how the road design standards in the Transport Chapter will be applied to the formation of these roads. Amend the Movement Network Plan for the South East Rangiora Outline Development Plan (ODP) as per Attachment 4C (refer to full submission for attachment).
- Clarify that 'significant' road (any road identified on an ODP) is to be classified at a minimum as a 'Collector Road'.
- [408.89] the extent of the development area needs to be altered to capture the full extent of Bellgrove South by including the whole allotment of 74 Northbrook Road in the development area (Lot 2 DP 452196).
- Support acknowledgement that the open space reserve shown north of a Galatos Street extension is flexible dependent on the final subdivision layout design.
- Support that the stormwater solutions reserves shown are 'indicative' in size given substantially more design work is required to confirm extents and appropriate suitable locations within this area. Amend the Open Space and Stormwater Reserve Plan for the South East Rangiora Outline Development Plan to include the full extent of 74 Northbrook Road, Rangiora (Lot 2 DP 452196) as per Attachment 3E (refer to full submission for attachment).
- [408.90] the location of the pump station near the intersection with Golf Links Road / Rangiora Woodend Road / Kippenberger Avenue is incorrect and needs to be updated to reflect the location proposed within Bellgrove Stage 1.
- The new watermain should be aligned in accordance with the requested changes to the movement plan (i.e be aligned with the realigned primary road and cycleway)

- [408.92] Support the location of a new/south road connecting Kippenberger Avenue with Northbrook Road.
- Seek the removal of the extension of Devlin Avenue as per changes sought to the movement plan (refer to full submission for Attachment 4C). Amend the 'Fixed Outline Development Plan Features for the South East Rangiora Development Area':
 - "Extension of Devlin Avenue with an adjoining green link containing a cycleway
 - Extension of Spark Lane to connect to Boys Road with adjoining green link containing a cycleway
 - Location of new north/south road connecting Kippenberger Avenue with Northbrook Road
 - Realignment of Northbrook Road to cross Devlin Avenue extension and connect to the new north/south road east of Devlin Avenue
 - Cycleways at Northbrook Road, Devlin Avenue, and Spark Lane
 - Location of flow paths and adjoining green links, cycleways, and required water body setbacks".

321. Bellgrove Rangiora Ltd [408.93, 408.94, 408.95, 408.96, 408.97] support DEV-SER-R1, DEV-SER-R2, DEV-SER-R3, DEV-SER-R4, DEV-SER-R5 and request that they are retained as notified.

6.20.2 Assessment

322. For Waka Kotahi, I note that Variation 1 has proposed all residential land in the ODP to become medium density residential.

323. For the Ministry of Education, I note that the narrative text currently states the following: "It is subject to Ministry of Education consideration whether an additional primary school is required in the South East Rangiora Development Area in the future to service its catchment", which I consider gives effect to their relief.

324. For WDC, I agree, and note that this change is consistent with the ECan request for the Kaiapoi development area.

325. For Gregory E Kelley I consider that the ODP and the certification provisions for the SER consider all of the matters he raises, including the groundwater concerns. For his rezoning request, I have deferred that component of his submission to the rezoning s42A report for Hearing Stream 12.

326. For Richard and Geoff Spark, I note that the narrative on feasibility does not refer to the development overall, it just refers to the flexibility of the ODP approach to development, insofar as an ODP can be updated based on market conditions. I also note that the certification process has been recommended for amendment as a certification consent.

Bellgrove submission

327. For Bellgrove, I have considered their requests to update the ODP as follows:

- The pump station should be moved to the correct location, which I supported above in the NER section, where I recommended this change occur.
- For the request to add all of Lot 2 DP 452196, I note that Map A in the CRPS bisects this parcel of land, with a small western portion of it within the development area, and most of the eastern portion outside of it. As the PDP must give effect to Map A insofar as it determines the extent of the development areas within the district, I consider that to adjust the development area boundary to include all of this parcel would result in the PDP being inconsistent with the CRPS. I cannot support this relief.
- I cannot find the 'neighbourhood centre' that the submitter refers to. I note that the SER ODP contains land identified for a commercial and mixed use area and an educational and community area, but no 'neighbourhood centre'.
- For the requests to update the roading and cycleway network on the Devlin Avenue extension, I note that the cycleway is partially on the Devlin Avenue extension and partially within the proposed green buffer between the existing residential houses and the proposed development. As the green buffer is a separate component of the ODP I consider that there is no duplication of the cycleway provision in this area, as only part of the proposed road is required to have a cycleway alongside it – the rest of the cycleway is within the green space/buffer.
- For the other changes, I am conscious that this SER is shared between other developers, with Sparks' proposing development in the south. Because of this, I cannot support ODP plan changes unless they are similarly considered by the other primary developer.

6.20.3 Recommendations

328. That the following outcome for submissions occurs:

- Bellgrove Rangiora Ltd [408.87, 408.91] are **rejected**
- Further submissions FS Bellgrove [FS 85] are **rejected**
- Gregory E Kelley [391.1], Richard and Geoff Spark [183.15], Waka Kotahi [275.98], WDC [367.12], Bellgrove Rangiora Ltd [408.83,408.84,408.85,408.86] are **accepted**
- Further submissions FS Rachel Hobson and Bernard Whimp are **accepted**
- Ministry of Education [277.79], Bellgrove Rangiora Ltd [408.88, 408.89, 408.90, 408.92] are **accepted in part**

Variation 1

- Richard and Geoff Spark [61.2,61.3] are **accepted in part**

329. That the recommended amendments as outlined above and in Appendix A are adopted.

6.20.4 Section 32AA Evaluation

330. I consider that the change to the household density requirements better reflects RESZ-P15.

6.21 New development areas

6.21.1 Matters raised by submitters

331. Rolleston Industrial Developments Ltd [160.22] seeks addition of proposed Ohoka Development Area Outline Development Plan and associated provisions from proposed Private Plan Change 31 to Operative District Plan (RCP031) in the 'Existing Development Areas' section. Insert proposed Ohoka Development Area and Outline Development Plan and associated provisions into 'Existing Development Areas' section as detailed in Annexure D of the submission.
332. Annexure D involves an expansion of Ohoka (156ha extending southwest from Mill Rd and bound by Bradleys Rd and Whites Rd) with a village centre, provision for 800 residential units, and a school or retirement village. Annexure D also outlines requirements relating to fencing, landscaping, land use (including minimum net density), movement network, water and wastewater network, open space, recreation and stormwater management, character and amenity through landscape and design, water bodies and freshwater ecosystems, and cultural matters.
333. This is opposed in further submissions by:
- FS J W and CE Docherty [FS 36]
 - FS I W and L M Bisman [FS 38]
 - FS David Cowley [FS 41]
 - FS Waimakariri District Council [FS 48]
 - FS Martin Hewitt [FS 60]
 - FS Catherine Mullins [FS 61]
 - FS Oxford Ohoka Community Board [FS 62]
 - FS Albert George Brantley [FS 71]
 - FS Steven Holland [FS 72]
 - FS Michelle Holland [FS 73]
 - FS Val & Ray Robb [FS 74]
 - FS Edward & Justine Hamilton [FS 75]
 - FS Ohoka Residents Association [FS 84]
 - FS Mary Koh [FS 98]
 - FS Gordon C Alexander [FS 112]

6.21.2 Assessment

334. I consider that in order to be consistent the well-functioning urban environment requirements of Policy 1 NPSUD, that a development area, either existing or proposed, needs to be immediately adjacent to an existing urban environment. Ohoka has no urban zones, being large lot residential. As such, I consider that introducing a new development area into this area for the purposes of the development proposal is inconsistent with the NPSUD.

335. I also note the recent rejection of this development proposal through private plan change 31⁷.

6.21.3 Recommendations

336. That the following outcome for submissions occur:

- Rolleston Industrial Developments Ltd [160.22] is **rejected**
- FS J W and CE Docherty [FS 36], FS I W and L M Bisman [FS 38], FS David Cowley [FS 41], FS Waimakariri District Council [FS 48], FS Martin Hewitt [FS 60], FS Catherine Mullins [FS 61], FS Oxford Ohoka Community Board [FS 62], FS Albert George Brantley [FS 71], FS Steven Holland [FS 72], FS Michelle Holland [FS 73], FS Val & Ray Robb [FS 74], FS Edward & Justine Hamilton [FS 75], FS Ohoka Residents Association [FS 84], FS Mary Koh [FS 98], FS Gordon C Alexander [FS 112] are **accepted**

6.22 Minor changes

337. I recommend the following minor changes under cl 16(2), sch 1, RMA:

- That all development areas, existing and new, are mapped with an overlay entitled “development area”. Currently only the “new” development areas are mapped, but still entitled “development area”, however as I outlined in the introduction to the chapter section, there is now largely no distinction between existing development areas and new development areas

338. Under s32AA RMA, I consider that this change to the proposed plan maps is minor, but improves plan efficiency by ensuring that all development areas are mapped.


6.23 Conclusions

339. Having considered all the submissions and reviewed all relevant statutory and non-statutory documents, I recommend that Proposed Plan should be amended as set out in Appendix A of this report.
340. For the reasons set out in the Section 32AA evaluation attached at Appendix C and included throughout this report, I consider that the proposed objectives and provisions, with the recommended amendments, will be the most appropriate means to:
- achieve the purpose of the Resource Management Act 1991 (RMA) where it is necessary to revert to Part 2 and otherwise give effect to higher order planning documents, in respect to the proposed objectives, and
 - achieve the relevant objectives of the Proposed Plan, in respect to the proposed provisions.

6.24 Recommendations:

341. I recommend that:
- a) The Hearing Commissioners accept, accept in part, or reject submissions (and associated further submissions) as outlined in Appendix B of this report; and
 - b) The Proposed Plan is amended in accordance with the changes recommended in Appendix A of this report.
 - c) That the mapping changes recommended are recorded but held over until after the rezoning recommendations and potentially the decisions on the plan, in order to best utilise and streamline Council GIS resources.

Signed:

Name and Title		Signature
Report Author	Peter Wilson	

Appendix A. Recommended Amendments to Development Areas
Chapter

Red are changes introduced by Variation 1

New overall DEV provisions⁸:

Objectives	
DEV-O1	Development Areas Development Areas contribute to achieving feasible development capacity for the Waimakariri District
Policies	
DEV-P1	Future urban development - Provide for future urban development in a Development Area in accordance with the relevant development area chapter provisions for that area through a land use consent process when: <ol style="list-style-type: none"> 1. <u>the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in UFD-O1 (for the medium term);</u> 2. <u>water supply, wastewater and stormwater infrastructure capacity is sufficient to support the proposed development; and</u> 3. <u>an agreement is in place between the District Council and the developer on the method, timing and funding of any necessary water supply, wastewater and stormwater infrastructure, open space and transport infrastructure; and</u> 4. <u>Hazards have been avoided, or otherwise mitigated.</u>
DEV-P2	Subdivision and activities Only allow subdivision and activities where:

⁸ Dalkeith Holdings Ltd [57.4], 199 Johns Rd et al [266.14], FENZ [303.81], Ministry of Education [277.65,277.67,277.71,277.73], Ministry of Education [277.74,277.75,277.78,277.80] Carolin Hamlin [314.1], ECan [316.187,316.188,316.189], Waimakariri District Council [367.36. 367.37,367.38,367.39,367.40,367.41]

	<ol style="list-style-type: none"> 1. <u>after certification consent is issued by the District Council's Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General-Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions; and</u> 2. <u>prior to certification consent being issued by the District Council's Chief Executive Officer or their delegate, it will not undermine or inhibit the future development of the Development Area.</u>
--	---

DEV-R1	Certification of land for residential and commercial development within a Development Area	
DEV overlay	<p>Activity status: RDIS</p> <p><u>Where:</u></p> <ol style="list-style-type: none"> 1. <u>Land is within the rural lifestyle zone; and</u> 2. <u>Land is within the DEV overlay; and</u> 3. <u>An ODP exists for that land within the plan; and</u> 4. <u>Zoning within the land is in accordance with that ODP</u> <p>Matters of discretion are restricted to:</p> <ol style="list-style-type: none"> 1. <u>The extent to which development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in UFD-O1 (for the medium term) as indicated by the most recent analysis undertaken by Council in accordance with the NPSUD and published on the District Council website; and</u> 2. <u>Consistency with the ODP zone locations; and</u> 	<p>Activity status when compliance not achieved: DIS</p>

3. The extent to which development will meet the following criteria:
 - a. firefighting flows within the piped treated water network servicing 95% of the Development Area will meet the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice components;
 - b. on-demand water schemes will have to capacity to deliver greater than 2000 litre connections per day at peak demand;
 - c. water pressure within the piped treated water network servicing the Development Area is maintained at greater than 250kpa 100% of the time, and greater than 350kpa 95% of the time;
 - d. surcharge of pipes and flooding out of manholes will not occur during a design rainfall event (20% AEP) within the stormwater network necessary for the servicing of potential development that is being released;
4. The provision of a geotechnical assessment and flood assessment for the area has been prepared for this area and the extent to which risks contained within the assessments can be avoided, or otherwise mitigated as part of subdivision design and consent;

5. The provision of a stormwater assessment and the extent to which any identified risks contained within the assessments can be avoided, or otherwise mitigated as part of subdivision design and consent;
6. The provision of a transport effects assessment and the extent to which recommendations contained within the assessment can be mitigated as part of subdivision design and consent;
7. The extent to which sufficient capacity is available within either the Rangiora or Kaiapoi Wastewater Treatment Plants for the development;
8. The provision of a staging plan including:
 - a. the amount of new residential sites created in the development subject to the application for certification;
 - b. number of stages for the development; and
 - c. how many sites will be created per stage;
9. The provision of an agreement between the District Council and the developer on the method, timing and funding of any necessary infrastructure and open space requirements is in place.
10. Effects on landowners and occupiers within and adjacent to the ODP area⁹.

⁹ Laurie and Pamela Richards [289.2,289.3], Reece Stuart MacDonald [308.1,308.2,308.3]

	<p><u>Lapse of consent:</u></p> <p><u>If a s223 certificate under the RMA has not been granted by the District Council within three five¹⁰ years of the date of approval of the certification consent, the consent will lapse.</u></p> <p><u>Bundling:</u></p> <p><u>This consent may be bundled with subdivision consent under the subdivision provisions.</u></p>	
<u>DEV-R2</u>	<u>General development and subdivision of land in Development Area where certification consent has been obtained</u>	
<u>DEV overlay</u>	<p>1. <u>The development and subdivision of land shall be in accordance with an Outline Development Plan (ODP) as set out within the relevant DEV section.</u></p>	
	<p>2. <u>The following zone rules and associated standards apply to the identified zones and areas within Outline Development Plans and supersede the underlying rural lifestyle zone provisions:</u></p> <p><u>Medium Density Residential Zone parts of an ODP</u> <u>Activity status: PER</u></p>	<p><u>Activity status when compliance not achieved: see activity status for MRZ-R1 to MRZ-R176</u></p>

¹⁰ 199 Johns Rd et al [266.12]

	<p>Where this activity falls within these activity rules and associated standards in the Medium Density Residential Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. MRZ-R1 to MRZ-R176; 	
	<p>Activity status: RDIS</p> <p>Where this activity falls within these rules and associated standards in the Medium Density Residential Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. MRZ-R187 to MRZ-R2019; 	<p>Activity status when compliance not achieved: see activity status for MRZ-R187 to MRZ-R2019</p>
	<p>Activity status: DIS</p> <p>Where this activity falls within these rules and associated standards in the Medium Density Residential Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. MRZ-R210 to MRZ-R287; 	<p>Activity status when compliance not achieved: see activity status for MRZ-R210 to MRZ-R287</p>
	<p>Activity status: NC</p> <p>Where this activity falls within these rules and associated standards in the General Residential Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. MRZ-R298 to MRZ-R4039; 	<p>Activity status when compliance not achieved: see activity status for MRZ-R298 to MRZ-R4039</p>

	<p><u>Local Centre Zone parts of an ODP</u> Activity status: PER</p> <p>Where this activity falls within these rules and associated standards in the Local Centre Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. LCZ-R1 to LCZ-R20; 	<p>Activity status when compliance not achieved: see activity status for LCZ-R1 to LCZ-R20</p>
	<p>Activity status: RDIS</p> <p>Where this activity falls within these rules and associated standards in the Local Centre Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. LCZ-R21 to LCZ-R24; 	<p>Activity status when compliance not achieved: see activity status for LCZ-R21 to LCZ-R24</p>
	<p>Activity status: DIS</p> <p>Where this activity falls within these rules and associated standards in the Local Centre Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. LCZ-R25; 	<p>Activity status when compliance not achieved: see activity status for LCZ-R25</p>
	<p>Activity status: NC</p> <p>Where this activity falls within these rules and associated standards in the Local Centre Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. LCZ-R26 to LCZ-R27; 	<p>Activity status when compliance not achieved: see activity status for LCZ-R26 to LCZ-R27</p>

<p><u>Open Space Zone parts of an ODP</u> Activity status: PER</p> <p>Where this activity falls within these rules and associated standards in the Open Space Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. OSZ-R1 to OSZ-R15; 	<p>Activity status when compliance not achieved: see activity status for OSZ-R1 to OSZ-R15</p>
<p>Activity status: RDIS</p> <p>Where this activity falls within these activity rules and associated standards in the Open Space Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. OSZ-R16; 	<p>Activity status when compliance not achieved: see activity status for OSZ-R16</p>
<p>Activity status: DIS</p> <p>Where this activity falls within these activity rules and associated standards in the Open Space Zone parts of an ODP:</p> <ol style="list-style-type: none"> 1. OSZ-R17 to OSZ-R18; 	<p>Activity status when compliance not achieved: see activity status for OSZ-R17 to OSZ-R18</p>
<p>Activity status: NC</p> <p>Where this activity falls within these activity rules and associated standards in the Open Space Zone parts of an ODP:</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R19 to OSZ-R21</p>

	<p>1. OSZ-R19 to OSZ-R21;</p>	
	<p><u>Commercial and Mixed Use Zone parts of an ODP</u> <u>Activity status: PER</u></p> <p><u>Where this activity falls within these activity rules and associated standards in the Commercial and Mixed Use Zone parts of an ODP:</u></p> <p><u>For NCZ parts of the ODP:</u></p> <p>1. NCZ-R1 to NCZ-R10;</p> <p><u>For LCZ parts of the ODP:</u></p> <p>1. LCZ-R1 to LCZ-R20;</p> <p><u>For LFRZ parts of the ODP:</u></p> <p>1. LFRZ-R1 to LFRZ-R12;</p> <p><u>For MUZ parts of the ODP:</u></p> <p>1. MUZ-R1 to MUZ-R20;</p>	<p><u>Activity status when compliance not achieved: see activity status for</u> NCZ-R1 to NCZ-R10 LCZ-R1 to LCZ-R20 LFRZ-R1 to LFRZ-R12 MUZ-R1 to MUZ-R20</p>
	<p><u>Activity status: RDIS</u></p> <p><u>For LCZ parts of the ODP:</u></p>	

1. LCZ-R21 to LCZ-R23;

For LFRZ parts of the ODP:

1. LFRZ-R13 to LFRZ-R14;

For MUZ parts of the ODP:

1. MUZ-R21 to MUZ-R23;

Activity status: DIS

Where this activity falls within these activity rules and associated standards in the Commercial and Mixed Use Zone parts of an ODP:

For NCZ parts of the ODP:

1. NCZ-R12 to NCZ-R16;

For LCZ parts of the ODP:

1. LCZ-R24;

For LFRZ parts of the ODP:

1. LFRZ-R15 to LFRZ-R23;

For MUZ parts of the ODP:

	<ol style="list-style-type: none"> 1. <u>MUZ-R24;</u> 	
	<p>Activity status: NC</p> <p><u>Where this activity falls within these activity rules and associated standards in the Commercial and Mixed Use Zone parts of an ODP:</u></p> <p><u>For NCZ parts of the ODP:</u></p> <ol style="list-style-type: none"> 1. <u>NCZ-R17 to NCZ-R19;</u> <p><u>For LCZ parts of the ODP:</u></p> <ol style="list-style-type: none"> 1. <u>LCZ-R25 to LCZ-R26;</u> <p><u>For LFRZ parts of the ODP:</u></p> <ol style="list-style-type: none"> 1. <u>LFRZ-R24 to LFRZ-R26;</u> <p><u>For MUZ parts of the ODP:</u></p> <ol style="list-style-type: none"> 1. <u>MUZ-R25;</u> 	
<p>DEV-R4</p>	<p><u>Subdivision Activities in the Development Area if certification consent has been obtained</u></p>	
	<ol style="list-style-type: none"> 1. <u>The development and subdivision of land shall be in accordance with the zoning from an Outline Development Plan (ODP) as set out within the relevant DEV section.</u> 	

	<p>The following specific subdivision activity status, rules and standards apply to the identified zones and areas within Outline Development Plans and supersede the underlying rural lifestyle zone provisions</p>	
	<p>Activity status: CON</p> <p>Where this activity falls within these following activity rules and associated standards in subdivision:</p> <ol style="list-style-type: none"> 1. SUB-R1 to SUB-R3; 	<p>Activity status when compliance not achieved: see activity status for SUB-R1 to SUB-R3</p>
	<p>Activity status: RDIS</p> <p>Where this activity falls within these activity rules and associated standards in subdivision:</p> <ol style="list-style-type: none"> 1. SUB-R4 to SUB-R8; 	<p>Activity status when compliance not achieved: see activity status for SUB-R4 to SUB-R8</p>
	<p>Activity status: DIS</p> <p>Where this activity falls within these following activity rules and associated standards in subdivision:</p> <ol style="list-style-type: none"> 1. SUB-R9; 	<p>Activity status when compliance not achieved: see activity status for SUB-R9</p>
	<p>Activity status: NC</p> <p>Where this activity falls within these activity rules and associated standards in subdivision:</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R10 to SUB-R11</p>

1. [SUB-R10 to SUB-R11](#);

Advice Notes

DEV-AN1

The District Council will undertake the following work and publish on the [District Council](#) website as follows:

1. Residential capacity will be calculated at least annually.
2. Residential demand will be calculated at least every three years in line with Statistics New Zealand subnational projections or Waimakariri Growth Model.
3. [Water](#) and [wastewater](#) capacity in Rangiora and Kaiapoi will be calculated at least annually.

DEV-AN2

Where certification consent requires additional or upgraded public [infrastructure](#), the applicant may be required to enter into a Private Development Agreement with the [District Council](#). This will normally be required where the [District Council's](#) Development Contributions Policy does not clearly set out the specific contribution towards the costs of the additional or upgraded public [infrastructure](#) required. The Private Development Agreement will normally include a lease clause and be registered against the Computer Register (Certificate of Title) for the [land](#), to ensure that the developer meets their agreed obligations.

Existing Development Areas

NWR - Northwest Rangiora Development Area

Introduction

The Northwest Rangiora Development Area is located to the east of Lehmans [Road](#) and to the south of the Rangiora Racecourse. [National Grid](#) lines run through the development area. The area includes a mixture of General Residential Zone and Open Space Zone [land](#), as well as a Local Centre Zone as part of the Arlington Shops.

The [DEV-NWR-APP1](#) area includes:

- connections from the development through to Lehmans [Road](#);
- pedestrian/cycle connections;
- [stormwater](#) treatment areas; and
- identified reserve areas at Arlington Park.

Activity Rules

DEV-NWR-R1 Northwest Rangiora Development Area Outline Development Plan	
Activity status: PER - Where: 1. development shall be in accordance with DEV-NWR-APP1.	Activity status when compliance not achieved: DIS
Advisory Note	

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the activity or built form standard or provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor¹¹.

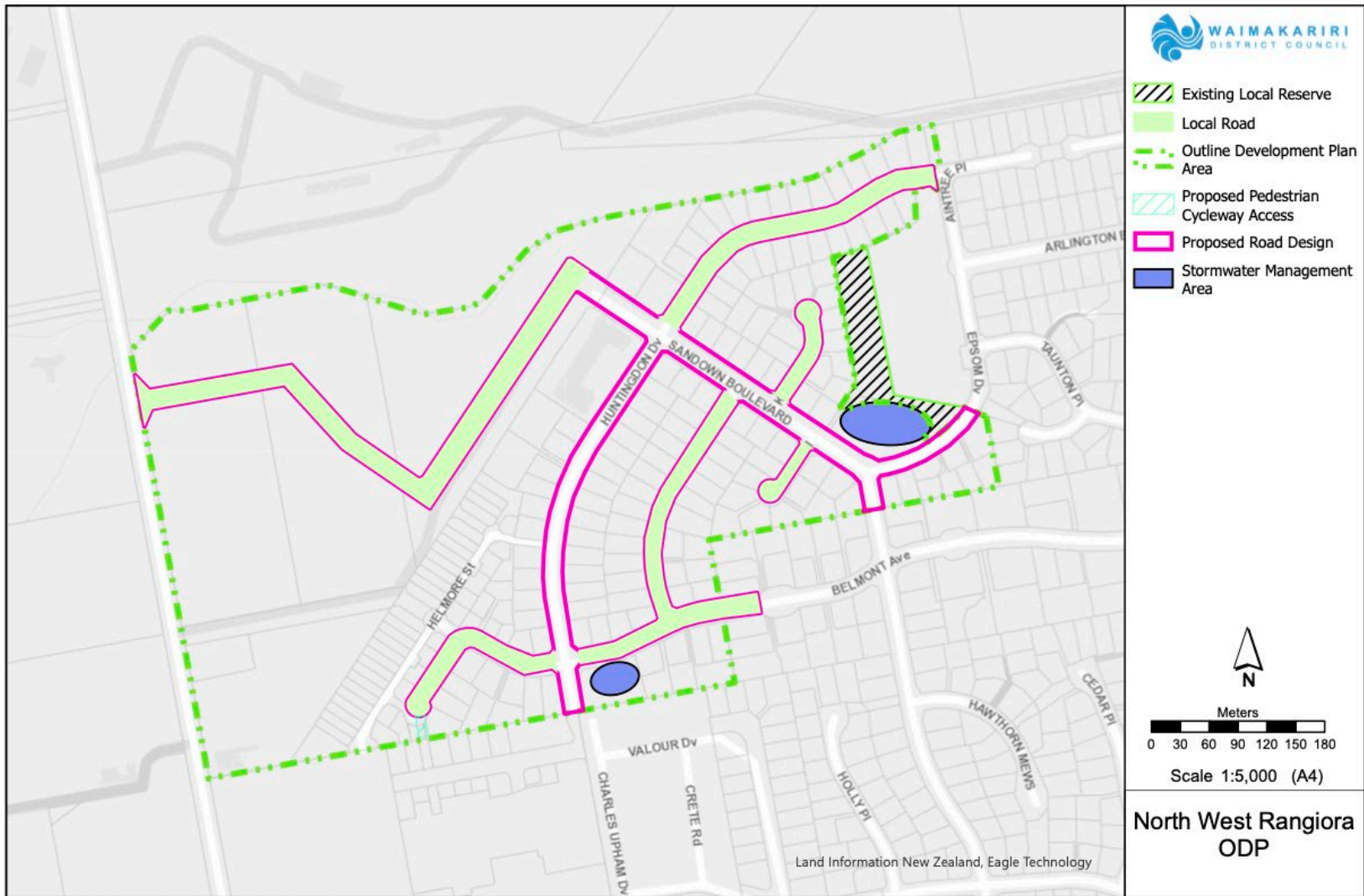
Built Form Standards

There are no area-specific built form standards for the Northwest Rangiora [ODP](#) area.

Appendix

DEV-NWR-APP1 Northwest Rangiora [ODP](#)

¹¹ Transpower [195.112]



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

SBT - South Belt Development Area

Introduction

The South Belt Development Area comprises approximately 14 ha of [land](#) fronting South Belt [Road](#) Townsend [Road](#) in Rangiora and bound by Southbrook Stream to the south. The area is General Residential Zone, but includes specific provision for a [retirement village](#).

The key features of the [DEV-SBT-APP1](#) area include:

- fixed [road](#) connections to South Belt;
- indicative pedestrian/cycle connections through the [ODP](#) area;
- a 20m wide esplanade and public pedestrian and cycleway alongside Southbrook Stream;
- increased [height](#) limits in [height](#) restriction areas A and B;
- a [stormwater](#) management area in the southeastern end of the [site](#), adjacent to Southbrook Stream;
- finished ground levels; and
- increased [site coverage](#) in Area B.

Activity Rules

DEV-SBT-R1 Finished ground levels as part of [subdivision](#)

Activity status: PER

Where:

1. As part of any [subdivision](#), any residential [allotment](#) shall have a finished [ground level](#) that avoids inundation in a 0.5% Annual Exceedance Probability combined rainfall and Ashley [River](#)/Rakahuri Breakout event.

Activity status when compliance not achieved: NC

DEV-SBT-R2 South Belt Development Area Outline Development Plan

Activity status: PER

Where:

- 1. development shall be in accordance with [DEV-SBT-APP1](#).

Activity status when compliance not achieved: DIS

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or provision.

DEV-SBT-R3 [Retirement village](#)

Activity status: CON

Where:

- 1. a [design statement](#) is provided with the application; and
- 2. communal rubbish/recycling space/s are provided for use by residents.

Matters of control are reserved to:

- [RES-MD2](#) - Residential design principles
- [RES-MD7](#) - Outdoor storage

Activity status when compliance not achieved: DIS

Built Form Standards

DEV-SBT-BFS1 [Structure coverage for retirement villages](#)

1. For the purpose of [GRZ-BFS2](#), [building coverage](#) shall be a maximum of 55% in [Height](#) Restriction Area B.

Activity status when compliance not achieved: DIS

DEV-SBT-BFS2 [Height](#)

1. For the purpose of [GRZ-BFS4](#), the maximum [height](#) of any [building](#) shall be:
- a. 14m above [ground level](#) in [Height](#) Area A; and
 - b. **10.5m 11m** above [ground level](#) in [Height](#) Area B.

Activity status when compliance not achieved: DIS

Appendix

DEV-SBT-APP1 - South Belt [ODP](#)

KLFR - Kaiapoi LFR Development Area

Introduction

The Kaiapoi LFR Development Area is [Large Format Retail](#) Zone and is located to the north-west of the Kaiapoi Town Centre Zone.

The [ODP](#) includes provisions for:

- a [road](#) accessing off Smith Street;
- internal roading providing [site](#) access;
- pedestrian and cycleway access;
- a local reserve;
- a [stormwater](#) management area and other [infrastructure](#);
- an area subject to a maximum [building height](#); and
- a landscape area.

Activity Rules

DEV-KLFR-R1 ODP - Kaiapoi Large Format Retail Zone	
<p>Activity status: PER</p> <p>Where:</p> <ol style="list-style-type: none">1. Within the Kaiapoi Large Format Retail Zone on Smith Street, the development of land shall be in accordance with DEV-KLFR-APP1 and shall meet the following standards:<ol style="list-style-type: none">a. new buildings shall connect to the stormwater management system shown on DEV-KLFR-APP1;b. any outdoor storage area shall not be located within the 10m Building Setback;	<p>Activity status when compliance not achieved: RDIS</p> <p>Matters of discretion are restricted to:</p> <ul style="list-style-type: none">• CMUZ-MD14 - Kaiapoi large format retail

- c. tree planting shall be provided along the Smith Street boundary and the Council reserve (west) boundary:
 - i. at a minimum of one tree for every 15m;
 - ii. no more than 15m apart or closer than 13m; and
 - iii. the drip line of any tree shall not encroach within 2m of the centre line of any [water](#) or [stormwater](#) pipeline;
- d. trees required by (c) above shall be at least 1.5m high at the time of planting and of a species capable of growing to at least 8m at maturity; and
- e. any [building](#) walls within 20m distance from the 10m [setback](#) along the southern zone boundary, and which face directly or are generally parallel to the Kaiapoi [River](#), shall be painted or finished in recessive colours in the natural range of browns, greens and greys, with a reflectivity of no more than 35%.

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or provision.

Built Form Standards

There are no area-specific built form standards for the Kaiapoi [Large Format Retail ODP](#).

Appendix

DEV-KLFR-APP1 - Kaiapoi [Large Format Retail Zone ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

OHOK - Bradleys Road Ohoka Development Area

Introduction

The Bradleys [Road](#) Ohoka Development Area is located in the north of Ohoka. The area is a Large Lot Residential Zone that provides for low density [residential activities](#).

Key features of [DEV-OHOK-APP1](#) include:

- proposed [road](#), pedestrian access and reserve layouts;
- proposed [stormwater](#) management areas;
- areas to achieve specific residential density requirements; and
- odour control set back areas.

Activity Rules

~~DEV-OHOK-R1 Bradleys [Road](#) Ohoka Development Area Outline Development Plan~~

~~Activity status: PER~~

~~-~~

~~Where:~~

- ~~1. development shall be in accordance with [DEV-OHOK-APP1](#).~~

~~Activity status when compliance not achieved: DIS~~

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or provision.

~~DEV-OHOK-R2 Residential unit and any rooms within [accessory buildings](#) used for sleeping or living purposes located within the Poultry Odour Control [Setback](#) Area~~

Activity Status: NC

Where:

1. a poultry farm continues to operate on Part Rural Section 2561 with respect to the Poultry Odour Control [Setback](#) Area.

Activity status when compliance not achieved: N/A

Built Form Standards

DEV-OHOK-BFS1 Specific density requirements

1. For the purpose of [subdivision](#) standard [SUB-S1](#):
 - a. the maximum number of [allotments](#) across the [DEV-OHOK-APP1](#) area shall be 55; and
 - b. [allotment](#) sizes shall be achieved within the following Density Areas:
 - i. Density Area A shall achieve a minimum [allotment](#) size of no less than 1ha;
 - ii. Density Area B shall achieve a minimum [allotment](#) size of no less than 5000m²;
 - iii. Density Area C shall achieve a minimum [allotment](#) size of no less than 4000m²;
 - iv. Density Area D shall achieve a minimum [allotment](#) size of no less than 3000m²; and
 - v. Density Area E shall achieve a minimum [allotment](#) size of no less than 2500m².

Activity status when compliance not achieved: NC

DEV-OHOK-BFS2 Development in the [road setback](#)

1. Within any [road setback](#):

Activity status when compliance not achieved: DIS

- a. the maximum total area of paving (including gravel surface) shall be 100m²;
- b. a minimum of one specimen tree shall be planted and maintained for each 10m of [road frontage](#); and
- c. any tree required in accordance with (b) shall:
 - i. be located within 10m of the [road frontage](#) boundary and be planted not more than 10m apart;
 - ii. be a minimum [height](#) of 2m and a minimum trunk diameter of 3cm at a [height](#) of 30cm above [ground level](#); and
 - iii. be selected from the following species: maples, silk tree, alders, oaks, elms, magnolias, olives, plane trees, birches, cypresses and kowhai.

DEV-OHOK-BFS3 [Building coverage](#)

1. For the purpose of [LLRZ-BFS2](#), the maximum [building coverage](#) shall be:
 - a. 10% of the [net site area](#) for any [allotment](#) over 3000m²; or
 - b. 15% of the [net site area](#) or 500m² whichever is the lesser for any [allotment](#) between 2500m²-2999m².

Activity status when compliance not achieved: DIS

DEV-OHOK-BFS4 [Building and structure setbacks](#)

1. For the purpose of [LLRZ-BFS5](#) (1)(a) any [building](#) or [structure](#), other than a fence, shall be set back a minimum of 15m from any [road boundary](#).

Activity status when compliance not achieved: DIS

DEV-OHOK-BFS5 Fencing

1. For the purpose of [LLRZ-BFS7](#) (1) any fence or wall erected within any [setback](#) shall be:
 - a. a minimum [height](#) of 0.6m above [ground level](#);
 - b. a maximum [height](#) of 1.2m above [ground level](#);
 - c. limited to post and wire or post and rail fences;
 - d. at least 50% transparent; and
 - e. of a length equal to, or greater than, 80% of the length of the [road boundary](#).

Activity status when compliance not achieved: DIS

Appendix

DEV-OHOK-APP1 - Bradleys [Road](#) Ohoka [ODP](#) - Area A



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

DEV-OHOK-APP1 - Bradleys [Road](#) Ohoka [ODP](#) - Area B



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

WKP - West Kaiapoi Development Area

Introduction

The West Kaiapoi Development Area covers the Silverstream development which was enabled following the Canterbury Earthquakes of 2010/2011. Located on the western side of [State Highway](#) 1 and centred on the Kaiapoi [River](#), it includes:

- a comprehensive roading and movement network, including the re-alignment of Butchers [Road](#) and closure of part of Island [Road](#);
- [infrastructure](#) requirements;
- development of recreation and ecological linkages along Kaiapoi [River](#);
- areas of Medium Density Residential Zone [land](#), providing opportunities for more intense residential development; and
- a Local Centre Zone providing business services to the local community.

There are established residential areas close to the Local Centre Zone shops and a [retirement village](#) is also being developed.

Activity Rules

DEV-WKP-R1 Outdoor community space

Activity status: PER

Where:

1. for each block zoned Medium Density Residential Zone, where any block exceeds 1ha, a minimum of 200m² of outdoor community space shall be provided. These areas shall be held in the same ownership or by tenancy-in-common in the same ownership as the lots or [site](#) to which the community space is provided.

Activity status when compliance not achieved: NC

DEV-WKP-R2 Finished [ground level](#)

Activity status: PER

Activity status when compliance not achieved: NC

<p>Where:</p> <ol style="list-style-type: none"> as part of any subdivision, any allotment shall have a finished ground level of not less than 3.6m above mean sea level. 	
<p>DEV-WKP-R3 West Kaiapoi Development Area Outline Development Plan</p>	
<p>Activity status: PER</p> <p>Where:</p> <ol style="list-style-type: none"> development shall be in accordance with DEV-WKP-APP1. 	<p>Activity status when compliance not achieved: DIS</p>
<p>Advisory Note</p> <ul style="list-style-type: none"> For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the <u>activity or built form standard or provision</u>. 	
<p>DEV-WKP-R4 Fence fronting an arterial road</p>	
<p>Activity status: RDIS</p> <p>Matters of discretion are restricted to:</p> <ul style="list-style-type: none"> RES-MD2 - Residential design principles RES-MD7 - Outdoor storage <p>Notification</p>	<p>Activity status when compliance not achieved: N/A</p>

An application for a restricted discretionary activity under this rule is precluded from being publicly or limited notified.

Built Form Standards

DEV-WKP-BFS1 [Height in relation to boundary](#)

1. For the purpose of [MRZ-BFS7](#), [structures](#) shall not project beyond a [building](#) envelope defined by recession planes measured 5.7m from [ground level](#) above any [internal boundary](#) (other than boundaries with [accessways](#)), or in relation to any garage [structure](#) 4.6m from [ground level](#), and inclined inwards to the [site](#) at an angle of 45° from the horizontal except for the following:
 - a. flagpoles;
 - b. lightning rods, chimneys, ventilation shafts, solar heating devices, roof [water](#) tanks, lift and stair shafts;
 - c. decorative features such as steeples, [towers](#) and finials;
 - d. for [buildings](#) on adjoining [sites](#) which share a common wall, the [height in relation to boundary](#) requirement shall not apply along that part of the [internal boundary](#) covered by such a wall; and
 - e. where the [land](#) immediately beyond the [site](#) boundary forms part of any [rail corridor](#), drainage reserve, or [accessway](#) (whether serving the [site](#) or not), the boundary of the [rail corridor](#), drainage reserve, or [accessway](#) furthest from the [site](#) boundary may be deemed to be the [site](#) boundary for the purpose of defining the origin of the recession plane, provided this

Activity status when compliance not achieved: RDIS

Matters of discretion are restricted to:

- [RES-MD2](#) - Residential design principles
- [RES-MD5](#) - Impact on neighbouring property

Notification

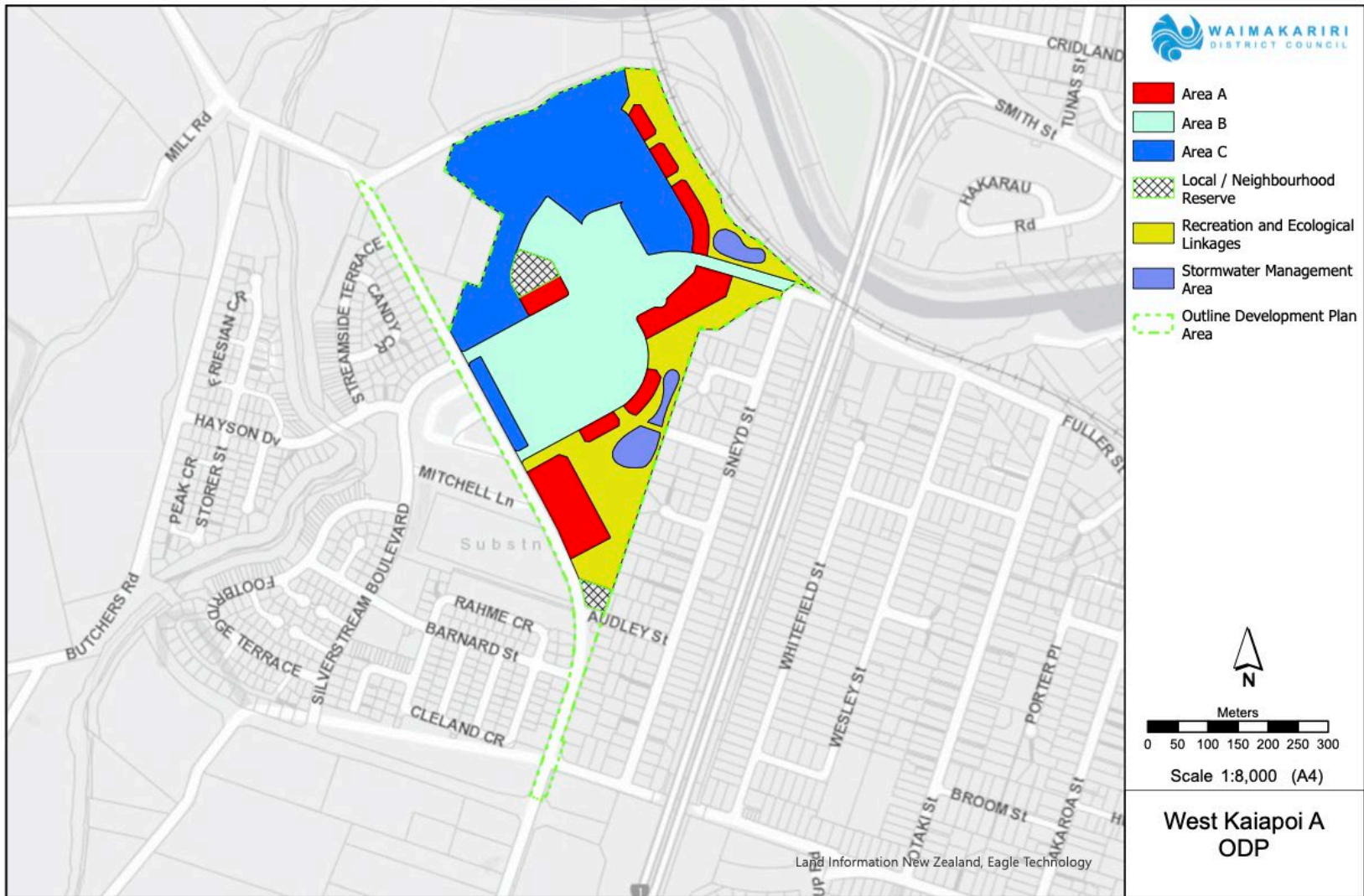
An application for a restricted discretionary activity under this rule is precluded from being publicly notified, but may be limited notified.

deemed [site](#) boundary is no further than 6m from the [site](#) boundary;

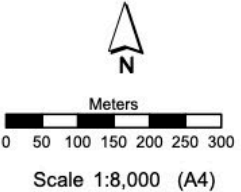
2. Provided that none of the [structures](#) listed in (1) (c) to (e) has a horizontal dimension of over 3m along the line formed where the [structure](#) meets the recession plane as measured parallel to the relevant boundary.
3. Where the [site](#) is within the Urban Flood Assessment Overlay or Kaiapoi Fixed Minimum Finished [Floor Level](#) Overlay, the [height](#) of the Finished [Floor Level](#) specified in a Flood Assessment Certificate can be used as the origin of the recession plane instead of [ground level](#), but only up to an additional 1m above original [ground level](#).

Appendix

DEV-WKP-APP1 - West Kaiapoi [ODP](#)



- Area A
- Area B
- Area C
- Local / Neighbourhood Reserve
- Recreation and Ecological Linkages
- Stormwater Management Area
- Outline Development Plan Area



**West Kaiapoi A
ODP**

Land Information New Zealand, Eagle Technology

Cadastral Data from LINZs DCDB. Crown Copyright Reserved.



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Amendments required:

- Replace Neighbourhood Road with Local Road
- Island Road between Cosgrove and Ohoka Roads becomes a Collector Road¹²

EKP - East Kaiapoi Development Area

Introduction

The East Kaiapoi Development Area covers a section of east Kaiapoi on the northern side of Beach [Road](#), the key route vehicle route to Kairaki Beach and The Pines Beach.

Key aspects of the [DEV-EKP-APP1](#) area include:

- linkages to the Kaiapoi Development Area to the north;
- requirements for [road](#) access for [allotments](#) fronting on to Beach [Road](#);
- provision for medium-density development;
- drainage to [stormwater](#) management areas to the east; and
- integrated pedestrian and cycleway access throughout the development.

While undeveloped areas are subject to high hazard flooding risk, the impacts of flood hazard can be mitigated through the raising of [land](#) levels, reducing the risk of harm from flood hazard events, including coastal hazards.

Activity Rules

DEV-EKP-R1 Vehicle access

Activity status: PER

Where:

Activity status when compliance not achieved: NC

¹² WDC [367.62,367.63]

<p>1. any lot with frontage to Beach Road shall have vehicle access only to Beach Road.</p>	
<p>DEV-EKP-R2 Finished ground level</p>	
<p>Activity status: PER</p> <p>Where:</p> <p>1. as part of any subdivision, any allotment shall have a finished ground level of not less than 2m above mean sea level.</p>	<p>Activity status when compliance not achieved: NC</p>
<p>DEV-EKP-R3 East Kaiapoi Development Area Outline Development Plan</p>	
<p>Activity status: PER</p> <p>Where:</p> <p>1. development shall be in accordance with the DEV-EKP-APP1.</p>	<p>Activity status when compliance not achieved: DIS</p>
<p>Advisory Note</p> <ul style="list-style-type: none"> For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the <u>activity or built form standard or provision</u>. 	

Built Form Standards

There are no area-specific built form standards in relation to the East Kaiapoi [ODP](#) area.

Appendix

DEV-EKP-APP1 - East Kaiapoi [ODP](#)



- Update the ODPs to reflect approved resource consents (RC185306 and RC215291)

MILL - Mill Road Development Area

Introduction

The Mill [Road](#) Outline Development Plan Area is located at the southern end of Ohoka Township. It comprises an area of Large Lot Residential Zone, with separate densities provided for within the development.

The key features of [DEV-MILL-APP1](#) include:

- Density Areas A and B, providing for between one and two households per ha;
- amenity tree planting;
- pedestrian and cycleways;
- indicative roading layouts;
- [setbacks](#) from Mill [Road](#); and
- [stormwater](#) management areas.

Activity Rules

DEV-MILL-R1 Mill Road Development Area Outline Development Plan	
<p>Activity status: PER</p> <p>Where:</p> <ol style="list-style-type: none"> 1. development shall be in accordance with DEV-MILL-APP1. 	<p>Activity status when compliance not achieved: DIS</p>
Advisory Note	

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or provision.

DEV-MILL-R2 [Stormwater](#) management

Activity status: PER

Where:

1. All [stormwater](#) generated from the [site](#) shall be directed into and pass through one of the [stormwater](#) attenuation and [water](#) quality treatment systems prior to [discharge](#) from the [site](#).

Activity status when compliance not achieved: NC

DEV-MILL-R3 Activities in the [road](#) and [internal boundary setback](#)

Activity status: PER

Where:

1. There shall be no fixed outdoor lighting within any [road](#) or [internal boundary setback](#).
2. Within a 10m [setback](#) from the marked boundaries a minimum of one tree shall be planted for every 20m of the relevant [allotment](#) boundary. Such trees may be grouped within each [allotment](#) adjacent to the marked boundary.
3. Any hedge of more than 5m in length along any lot boundary shall not exceed 1.5m in [height](#).
4. Trees required in accordance with (2) above shall:

Activity status when compliance not achieved: NC

- a. comprise a mix of large high amenity trees that reflect and complement species found in Ohoka, from the following tree list:
- i. *Cupressus macrocarpa* (macrocarpa), *C. x leylandii* (Leyland cypress)
 - ii. *Eucalyptus pauciflora* (snow gum), *E. gunii* (cider gum), *E. cinerea* (silver dollar gum), *E. mannifera ssp mannifera* (Eucalyptus mannifera)
 - iii. *Fagus spp* (European beech)
 - iv. *Fraxinus excelsior* (European ash)
 - v. *Ginkgo biloba* (ginkgo)
 - vi. *Juglans nigra* (black walnut)
 - vii. *Liquidambar styraciflua* (liquidamber)
 - viii. *Magnolia grandiflora* (evergreen magnolia), *M. soulangeana* (saucer magnolia)
 - ix. *Platanus x acerifolia* (London plane), *P. orientalis* (oriental plane)
 - x. *Podocarpus totara* (Totara)
 - xi. *Populus nigra x euramericana* 'Crows nest', *P. yunnanensis* (Chinese poplar)
 - xii. *Quercus robur* (English/common oak), *Q. rubra* (red oak), *Q. palustris* (pin oak), *Q. ilex* (Holm oak), *Q. coccinea* (scarlet oak), *Q. cerris* (Turkey oak)
 - xiii. *Robinia pseudoacacia* (black locust)
 - xiv. *Tilia x europaea* (common lime)
 - xv. *Ulmus glabra* (wych elm), *U. procera* (English elm), *U. hollandica* 'Dodens' (Dutch elm)
- b. be at least 1.5m in [height](#) above [ground level](#) at the time of planting; and

- c. be maintained so that any dead, dying, damaged or diseased plants are replaced immediately.

DEV-MILL-R4 Subdivision design

Activity status: PER

Where:

- 1. Any subdivision shall provide for the protection of vegetation located downstream adjacent to the Mill Road and Threlkelds Road intersection together with the springs and watercourses that drain to that vegetation.

Activity status when compliance not achieved: NC

Built Form Standards

DEV-MILL-BFS1 Specific density and road frontage requirements

- 1. For the purpose of SUB-S1:
 - a. the maximum number of allotments across the DEV-MILL-APP1 area shall be 81; and
 - b. allotment sizes shall be achieved within the following Density Areas:
 - i. Density Area A shall achieve a minimum allotment size of no less than 1ha;
 - ii. Density Area B shall achieve a minimum allotment size of no less than 4000m²;
 - iii. the average area of all allotments shall be not less than 5000m²; and

Activity status when compliance not achieved: NC

<p>iv. the minimum road frontage of any allotment adjoining Mill Road shall be 50m.</p>	
<p>DEV-MILL-BFS2 Specific access provisions</p>	
<ol style="list-style-type: none"> 1. There shall be no increase in the number of allotments with vehicle access to Kintyre Lane unless and until it is vested as a public road. 2. There shall be only one public road connecting to Mill Road. 3. Provision shall be made for a road connection to the land to the north in the location identified on DEV-MILL-APP1. 	<p>Activity status when compliance not achieved: NC</p>
<p>DEV-MILL-BFS3 Building restriction area</p>	
<ol style="list-style-type: none"> 1. No structures or dwellinghouses are permitted within Area C shown on the outline Development Plan. 	<p>Activity status when compliance not achieved: NC</p>
<p>DEV-MILL-BFS4 Building and structure setbacks</p>	
<ol style="list-style-type: none"> 1. For the purpose of LLRZ-BFS6 (1) (a) any building or structure, other than a fence, shall be set back a minimum of: <ol style="list-style-type: none"> a. 10m from any road boundary from a local road; b. 15m from the road boundary with Mill Road. 	<p>Activity status when compliance not achieved: NC</p>
<p>DEV-MILL-BFS5 Fencing</p>	
<ol style="list-style-type: none"> 1. For the purpose of LLRZ-BFS7 (1) and (2): <ol style="list-style-type: none"> a. Any fence erected within any road or internal site boundary setback shall be limited to: <ol style="list-style-type: none"> i. maximum height of 1.2m above ground level; ii. post and wire or post and rail fences; 	<p>Activity status when compliance not achieved: NC</p>

- iii. be at least 50% transparent; and
- b. Any gate [structure](#) or wing walls shall be limited to:
 - i. a maximum [height](#) of 1.8m above [ground level](#);
 - ii. gates shall be at least 50% transparent and constructed in timber; and
 - iii. wing walls shall be constructed in either: timber, stone or plastered masonry, and if painted shall be finished in hues of grey, green or brown with a reflectivity value of no more than 37%.

Appendix

DEV-MILL-APP1 - Mill [Road Ohoka ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Update Mill Road ODP with Area C from Operative ODP

NWD - North Woodend Development Area

Introduction

The North Woodend Development Area covers the Ravenswood development at Woodend. The development provides for a General Industrial Zone activities, Town Centre Zone and Medium Density Residential Zone development located near the centre, with lower residential densities outside of this. The area includes a central spine [road](#) along Bob Robertson Drive, connecting [State Highway](#) 1 in the east with Rangiora-Woodend [Road](#) in the west.

The key features of [DEV-NWD-APP1](#) include:

- proposed re-alignment of Taranaki Stream;
- greenspace along the length of Bob Robertson Drive and around Taranaki Stream;
- identification of a number of local reserves / green space; and
- [stormwater](#) management areas.

Activity Rules

DEV-NWD-R1 North Woodend Development Area Outline Development Plan

Activity status: PER

Where:

1. development shall be in accordance with [DEV-NWD-APP1](#).

Activity status when compliance not achieved: DIS

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or provision.

Built Form Standards

DEV-NWD-BFS1: [Height in relation to boundary](#)

1. For the purpose of [MRZ-BFS7](#), [structures](#) shall not project beyond a [building](#) envelope defined by recession planes measured 5.7m from [ground level](#) above any [internal boundary](#) (other than boundaries with [accessways](#)), or in relation to any garage [structure](#) 4.6m from [ground level](#), and inclined inwards to the [site](#) at an angle of 45° from the horizontal except for the following:
 - a. flagpoles;
 - b. lightning rods, chimneys, ventilation shafts, solar heating devices, roof [water](#) tanks, lift and stair shafts;
 - c. decorative features such as steeples, [towers](#) and finials;
 - d. for [buildings](#) on adjoining [sites](#) which share a common wall, the [height in relation to boundary](#) requirement shall not apply along that part of the [internal boundary](#) covered by such a wall; and
 - e. where the [land](#) immediately beyond the [site](#) boundary forms part of any [rail corridor](#), drainage reserve, or [accessway](#) (whether serving the [site](#) or not), the boundary of the [rail corridor](#), drainage reserve, or [accessway](#) furthest from the [site](#) boundary may be deemed to be the [site](#) boundary for the purpose of

Activity status when compliance not achieved: **RDIS**

Matters of discretion are restricted to:

- [RES-MD2](#) - Residential design principles
- [RES-MD5](#) - Impact on neighbouring property

Notification

An application for a restricted discretionary activity under this rule is precluded from being publicly notified, but may be limited notified.

defining the origin of the recession plane, provided this deemed [site](#) boundary is no further than 6m from the [site](#) boundary;

2. Provided that none of the [structures](#) listed in (1) (c) to (e) has a horizontal dimension of over 3m along the line formed where the [structure](#) meets the recession plane as measured parallel to the relevant boundary.
3. Where the [site](#) is within the Urban Flood Assessment Overlay or Kaiapoi Fixed Minimum Finished [Floor Level](#) Overlay, the [height](#) of the Finished [Floor Level](#) specified in a Flood Assessment Certificate can be used as the origin of the recession plane instead of [ground level](#), but only up to an additional 1m above original [ground level](#).

Appendix

DEV-NWD-APP1 - North Woodend [ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

SBK - Southbrook Development Area

Introduction

The Southbrook Development Area applies to identified [industrial zones](#) and [commercial and mixed use zones](#) located in Southbrook. There is one [ODP](#) that covers the two zoned areas as follows:

Southbrook [Road](#)

Includes provisions for:

- proposed [roads](#);
- a proposed stream diversion;
- known well heads; and
- a proposed [stormwater](#) management area.

Todds [Road](#)

Includes provisions for:

- a proposed [local road](#);
- a stream protection area; and
- [stormwater](#) management areas.

Activity Rules

DEV-SBK-R1 Southbrook Development Area Outline Development Plan	
Activity status: PER	Activity status when compliance not achieved: DIS
Where:	

1. development shall be in accordance with [DEV-SBK-APP1](#).

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or¹³ provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor¹⁴.

Built Form Standards

There are no area-specific built form standards for the Southbrook Development Area [ODP](#).

Appendix

DEV-SBK-APP1 - Southbrook [ODP](#)

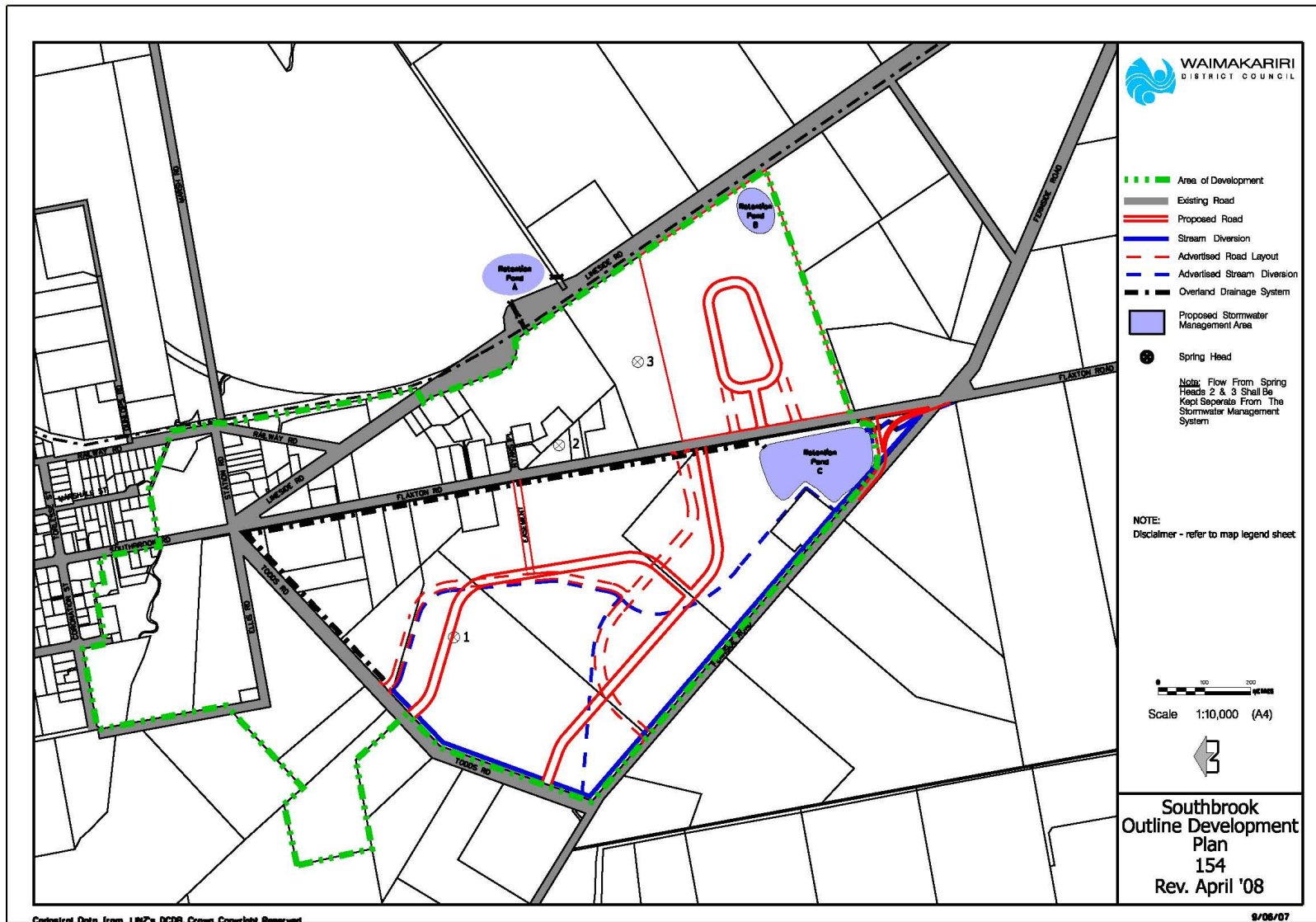
¹³

¹⁴ Transpower [195.113]



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Insert proposed stream diversion and overland drainage system from Sheet 154 from Operative District Plan:



EWD - East Woodend Development Area

The East Woodend Development Area is located on the eastern edge of Woodend township and is identified as an area for [residential activity](#). The area is traversed by McIntosh [Drain](#), around which a recreation and ecological corridor is identified. The topography of the area is generally flat, with remnant sand dunes located towards the centre of the area near Judsons [Road](#). The surrounding rural area is generally used for pastoral farming and some cropping. Further to the east of the [site](#) is the settlement of Woodend Beach. The planned Woodend Bypass runs to the east of the development area, with [State Highway 1](#) to the west.

The [DEV-EWD-APP1](#) provides for:

- a [collector local road](#) linking Woodend Beach [Road](#) with Petries [Road](#);
- internal [local roads](#) providing access to [allotments](#);
- the ability for a [local road](#) link between the [collector road](#) and Judsons [Road](#);
- the ability for a [local road](#) link between Woodend Beach [Road](#) and the [land](#) to the west of the [site](#) that has been identified for future residential use (in the [RPS](#));
- pedestrian and cycle access from an internal [local road](#) to a paper [road](#) to Woodend Beach [Road](#);
- pedestrian links from [local roads](#) to McIntosh [Drain](#), providing links across and through the development area;
- the naturalisation of McIntosh [Drain](#), providing for the ability to have a pedestrian link down one side; and
- [stormwater](#) treatment and disposal areas.

The provisions in this chapter give [effect](#) to the matters in [Part 2 – District Wide Matters - Strategic Directions](#).

Activity Rules

DEV-EWD-R1 East Woodend Development Area Outline Development Plan

Activity status: PER

Activity status when compliance not achieved: DIS

Where:

1. development shall be in accordance with [DEV-EWD-APP1](#).

Advisory Note

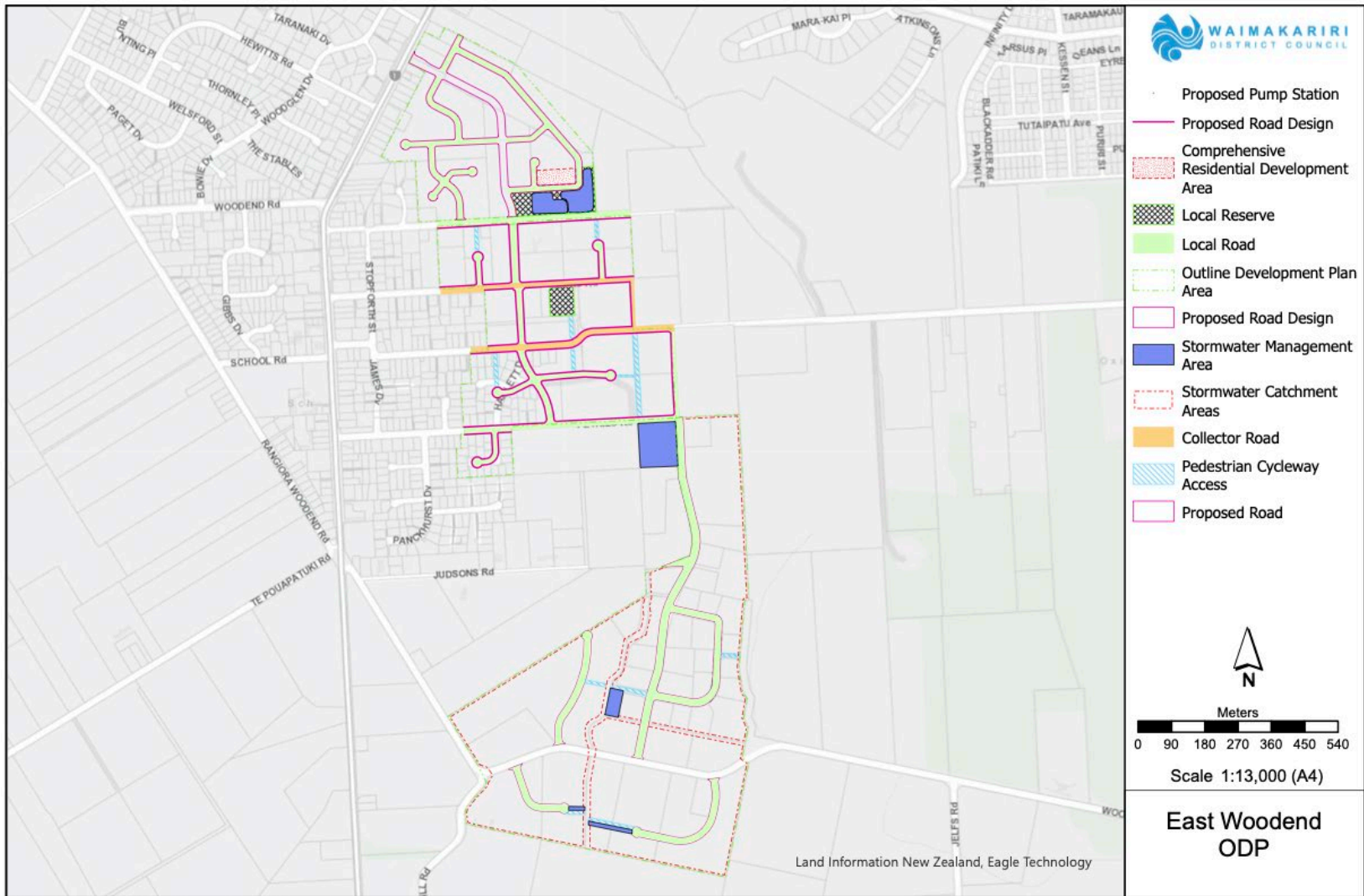
- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or¹⁵ provision

Built Form Standards

There are no area-specific built form standards for the East Woodend [ODP](#) area.

Appendix

DEV-EWD-APP1 - East Woodend [ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Amend ODP as follows:

- Amend Eders Road from Collector Road to Local Road
- Align intersection of Local Road that runs north to south (from Gladstone Road to Parsonage Road) through Eders Road in order to improve intersection safety.
- Widen section of Eders Road that runs north to south located on the east of the ODP so it extends towards the west to become a width of 18m as per Local Road classification.
- Expand 'Outline Development Plan Area' layer outwards to encompass all roads affected by East Woodend ODP.¹⁶

MPH - Mapleham Development Area

Introduction

The Mapleham Development Area is a small enclave located to the west of Pegasus Township, and within the Pegasus Resort Zone. The surrounding area is of significance to Ngāi Tūāhuriri, in particular the area around Taranaki Stream, and Kaiapoi Pa to the north. The balance of the [land](#) has been developed and incorporated into the Pegasus Resort Zone, however a number of features of the [DEV-MPH-APP1](#) remain.

The key features of [DEV-MPH-APP1](#) include:

- an identified flooding area surrounding Taranaki Stream;
- limitations on the development to one household per [site](#).

Activity Rules

DEV-MPH-R1: Specific density provisions

Access to [State Highway](#) 1 from the [DEV-MPH-APP1](#) area shall be limited to the two locations (Mapleham Drive) as shown on [DEV-MPH-APP1](#), provided that:

Activity status when compliance not achieved: NC

¹⁶ WDC [367.17]

<ol style="list-style-type: none"> 1. one access road located near the northern boundary of the zone shall serve a maximum of four sites; and 2. the access road located near the southern boundary of the zone shall serve all other sites in the zone and shall adjoin the common boundary of the adjacent property to the south for a minimum distance of 30m from State Highway 1 into the zone. 	
DEV-MPH-R2: Specific density provisions	
<ol style="list-style-type: none"> 1. For the purpose of SUB-S1: <ol style="list-style-type: none"> a. the minimum area for any allotment created by subdivision shall be 1ha; and b. the average area of all allotments shall not be less than 1.5ha. 	Activity status when compliance not achieved: NC
DEV-MPH-R3 Mapleham Development Area Outline Development Plan	
Activity status: PER Where: <ol style="list-style-type: none"> 1. development shall be in accordance with DEV-MPH-APP1. 	Activity status when compliance not achieved: DIS
Advisory Note	

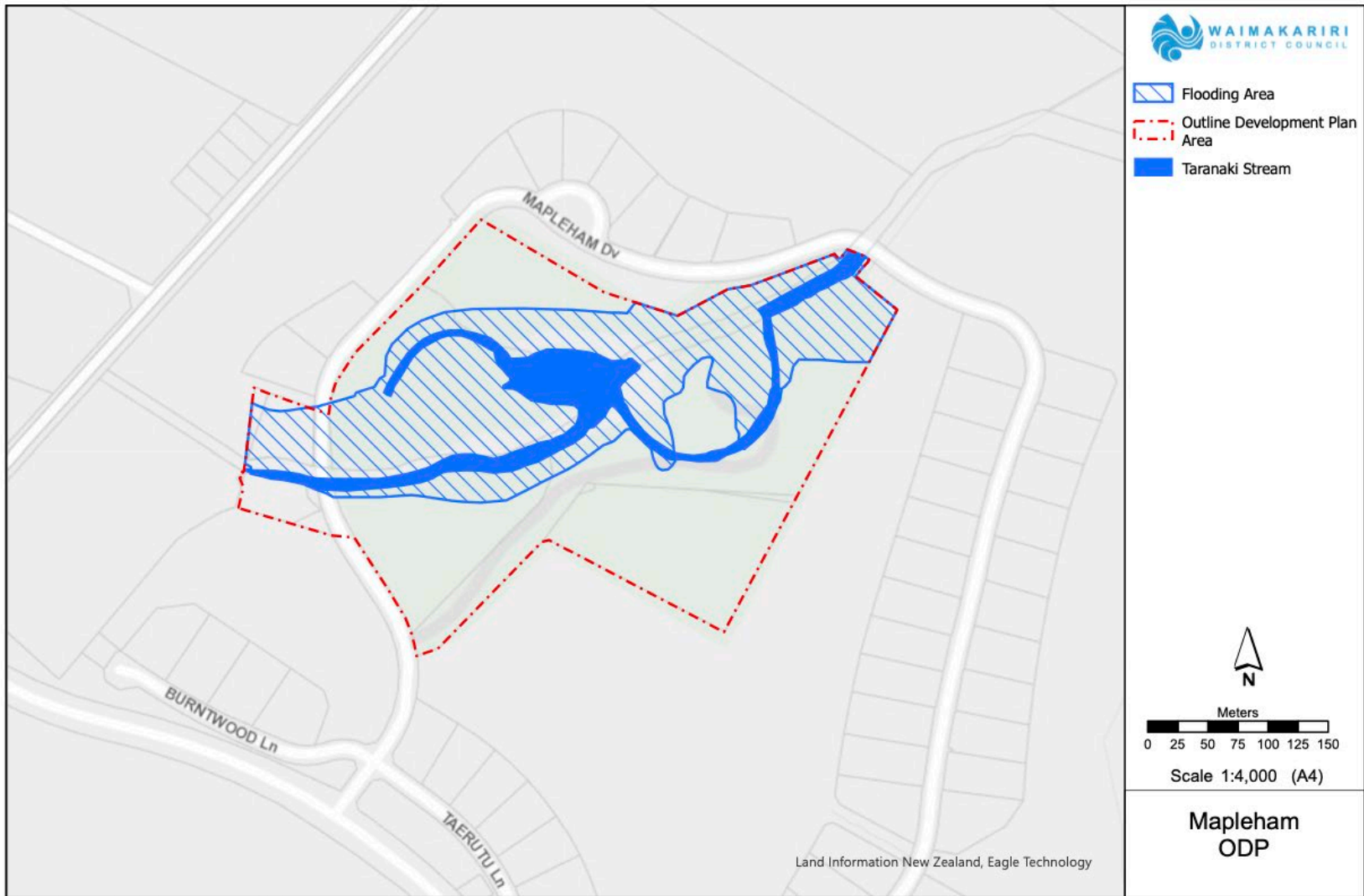
- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the activity or built form standard or¹⁷ provision

Built Form Standards

There are no area-specific built form standards for the Mapleham [ODP](#) area.

Appendix

DEV-MPH-APP1 - Mapleham [ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

NRG - North Rangiora Development Area

Introduction

The North Rangiora Development Area provides for indicative roading layouts for areas in North Rangiora bounded by [River Road](#) to the north, Ballarat [Road](#) to the west and Ashley Street to the east.

The [DEV-NRG-APP1](#) area includes:

- proposed [road](#) layout;
- [stormwater](#) management areas; and
- pedestrian cycleways including requirements for visually permeable fencing.

Activity Rules

DEV-NRG-R1 - [Subdivision](#) archaeological assessment

Activity status: PER

Where:

1. Within the [DEV-NRG-APP1](#) area, any application for [subdivision](#) shall be accompanied by an archaeological assessment prepared by a suitably qualified and experienced person in consultation with Te Ngāi Tūāhuriri Rūnanga.

Activity status when compliance not achieved: NC

DEV-NRG-R2 - North Rangiora Development Area Outline Development Plan

Activity status: PER

Where:

Activity status when compliance not achieved: DIS

1. development shall be in accordance with [DEV-NRG-APP1](#).

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the provision.

Built Form Standards

DEV-NRG-BFS1 - Fencing adjacent to walkway links

1. Fencing within 2m of the boundary of pedestrian/cycleways identified in [DEV-NRG-AAP1](#) shall have a maximum [height](#) of 1m above [ground level](#).

Activity status when compliance not achieved: DIS

Appendix

DEV-NRG-APP1 - North Rangiora [ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

PEG - Pegasus Township Development Area

Introduction

The Pegasus Township Development Area provides for a comprehensive masterplanned development to the east of Woodend. It is located near to Kaiapoi Pa and contains areas that are significant to Ngāi Tūāhuriri.

Key features of [DEV-PEG-APP1](#) area include:

- residential and commercial development centring on reserves and parks surrounding [Lake](#) Pegasus;
- provision for more intensive medium density residential development around the Local Commercial Zone;
- protection of historic dunes along the Western Ridge Conservation Area;
- the extensive Eastern Conservation Management Area;
- Mudfish Conservation Areas;
- [Site](#) access to [State Highway](#) 1; and
- An area set aside for subsurface treatment and disposal of [wastewater](#) in the Special Purpose Area.

Activity Rules

DEV-PEG-R1 Special Purpose Area

Activity status: PER

Where:

1. The area shown as Special Purpose Area on [DEV-PEG-APP1](#) shall only be used for the subsurface treatment and disposal of [wastewater](#) from the Pegasus [sewage](#) treatment plant, including [accessory buildings](#) and [structures](#), and the associated surface management and [cultivation](#).

Activity status when compliance not achieved: NC

DEV-PEG-R2 Conservation protection

Activity status: PER

Where:

1. The areas shown as Eastern Conservation Management Area and/or Mudfish Conservation Area on [DEV-PEG-APP1](#) shall only be used for:
 - a. the protection of archaeological and historic cultural values; and
 - b. the enjoyment, maintenance and enhancement of nature conservation values, including the habitat of all indigenous species, and associated recreation and education.

Activity status when compliance not achieved: NC

DEV-PEG-R3 Western Ridge Conservation Area

Activity status: PER

Where:

1. The area shown as Western Ridge Conservation Area on [DEV-PEG-APP1](#) shall only be used for the protection of archaeological and historic cultural values.

Activity status when compliance not achieved: NC

DEV-PEG-R4 Finished [ground level](#)

Activity status: PER

Where:

Activity status when compliance not achieved: NC

1. As part of any [subdivision](#), any [allotment](#) shall have a finished [ground level](#) of not less than 3.5m above mean sea level, except for [allotments](#) adjoining [Lake Pegasus](#) or any conservation area, where the finished [ground level](#) on the [allotments](#) shall be a gradual transition between the 3.5m level and the [ground level](#) at the edge of the [lake](#) or conservation area.

DEV-PEG-R5 [Earthworks](#)

Activity status: PER

Where:

1. Within the [DEV-PEG-APP1](#) area, where the [land](#) had a [ground level](#) of greater than 4m above mean sea level as at 20 June 1998, the ground may be shaped to enable [subdivision](#) of the area, but the ground levels shall generally remain the same as existed at that date. No sand shall be removed from those areas.
2. No [earthworks](#) shall be carried out in the General Residential Zone, Medium Density Residential Zone or Rural Lifestyle Zone that increases the risk of floodwaters entering the town from the west, as a result of a 0.2% [AEP](#) flood breaching or overtopping the Ashley [River](#)/Rakahuri [stopbanks](#).

Activity status when compliance not achieved: NC

DEV-PEG-R6 Finished [ground level](#)

Activity status: PER

Where:

Activity status when compliance not achieved: NC

1. Within the [DEV-PEG-APP1](#) area, where the [land](#) had a [ground level](#) of greater than 4m above mean seal level as at 20 June 1998, the ground may be shaped to enable [subdivision](#) of the area, but the ground levels shall generally remain the same as existed at that date. No sand shall be removed from those areas.

DEV-PEG-R7 Pegasus Development Area Outline Development Plan

Activity status: PER

Where:

1. development shall be in accordance with [DEV-PEG-APP1](#).

Activity status when compliance not achieved: DIS

Advisory Note

- For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this [ODP](#), the [ODP](#) shall substitute the provision.

Built Form Standards

DEV-PEG-BFS1 [Height in relation to boundary](#)

1. For the purpose of [MRZ-BFS7](#), [structures](#) shall not project beyond a [building](#) envelope defined by recession planes constructed 5.7m from [ground level](#) above any [internal boundary](#) (other than boundaries with [accessways](#)), or in relation to any garage [structure](#) 4.6m from [ground level](#), and inclined inwards to

Activity status when compliance not achieved: RDIS

Matters of discretion are restricted to:

- [RES-MD2](#) - Residential design principles
- [RES-MD5](#) - Impact on neighbouring property

the [site](#) at an angle of 45° from the horizontal except for the following:

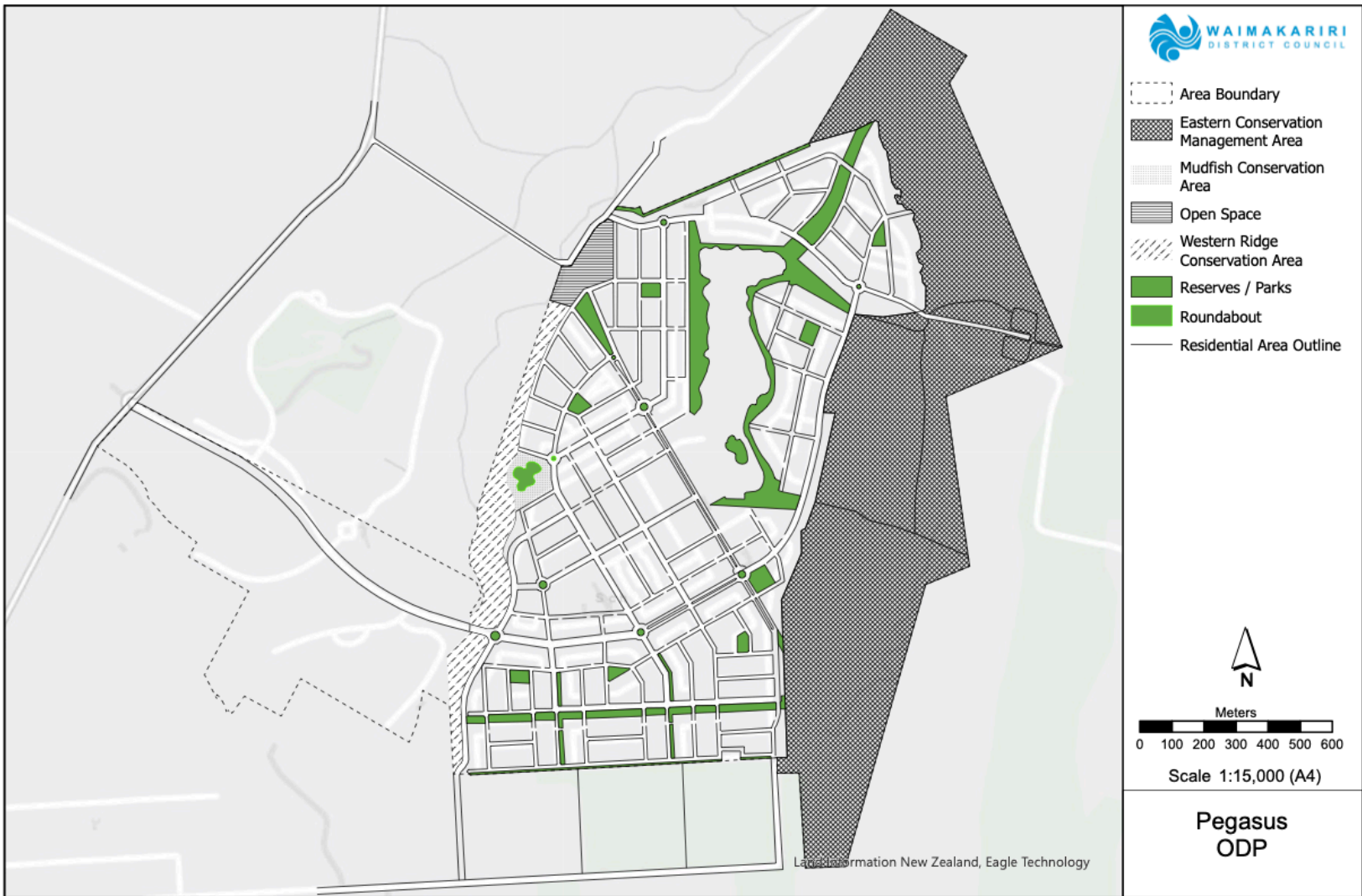
- a. flagpoles;
 - b. lightning rods, chimneys, ventilation shafts, solar heating devices, roof [water](#) tanks, lift and stair shafts;
 - c. decorative features such as steeples, [towers](#) and finials;
 - d. for [buildings](#) on adjoining [sites](#) which share a common wall, the [height in relation to boundary](#) requirement shall not apply along that part of the [internal boundary](#) covered by such a wall; and
 - e. where the [land](#) immediately beyond the [site](#) boundary forms part of any [rail corridor](#), drainage reserve, or [accessway](#) (whether serving the [site](#) or not), the boundary of the [rail corridor](#), drainage reserve, or [accessway](#) furthest from the [site](#) boundary may be deemed to be the [site](#) boundary for the purpose of defining the origin of the recession plane, provided this deemed [site](#) boundary is no further than 6m from the [site](#) boundary;
2. Provided that none of the [structures](#) listed in (1) (c) to (e) has a horizontal dimension of over 3m along the line formed where the [structure](#) meets the recession plane as measured parallel to the relevant boundary.
 3. Where the [site](#) is within the Urban Flood Assessment Overlay or Kaiapoi Fixed Minimum Finished [Floor Level](#) Overlay, the [height](#) of the Finished [Floor Level](#) specified in a Flood Assessment Certificate can be used as the origin of the recession plane instead of [ground level](#), but only up to an additional 1m above original [ground level](#).

Notification

An application for a restricted discretionary activity under this rule is precluded from being publicly notified, but may be limited notified.

Appendix

DEV-PEG-APP1 Pegasus [ODP](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Amend ODP to include residential and commercial areas¹⁸

New development areas

WR - Southwest Rangiora Development Area

Introduction

The Southwest Rangiora Development Areas is located at 163, 179, 191, 199 and 203 Johns Road.

Activity Rules

DEV-SWR-R1 Southwest Rangiora Development Area Outline Development Plan

Activity status: PER

-

Where:

- 1. development shall be in accordance with DEV-SWR-APP1.**

Activity status when compliance not achieved: DIS

Built Form Standards

There are no area-specific built form standards for the Southwest Rangiora ODP area.

Appendix

DEV-SWR-APP1 Southwest Rangiora ODP

Land Use Plan

The Outline Development Plan for the South West Rangiora located within the proposed West Rangiora Development Area provides for [residential activity](#) located along a key east/west primary [road](#) connections and along Johns [Road](#), connecting into existing development from Townsend [Road](#). The Outline Development Plan overlays the Proposed West Rangiora Development Area requirements.

¹⁸ Templeton Group [412.24,412.25]

Overall, the South West Rangiora Outline Development Plan Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved.

[Land](#) near the Southbrook Stream south of the Outline Development Plan Area and [land](#) to the west of the Outline Development Plan Area is likely to be/currently affected by Ashley [River](#)/Rakahuri flooding in a 1 in 200-year localised flooding and Ashley [River](#)/Rakahuri breakout event. This Outline Development Plan Area will use north/south [road](#) connections between Johns [Road](#) and tributaries of the Southbrook to direct the Ashley [River](#)/Rakahuri breakout and localised flooding overland flow appropriately to manage potential flooding [effects](#) for existing and proposed residential areas in the vicinity. Flood modelling that suitably addresses the Ashley [River](#)/Rakahuri flooding in a 1 in 200-year localised flooding and Ashley [River](#)/Rakahuri breakout event is required to be provided at [subdivision](#) consent stage. The management of flood waters is to be incorporated into the detailed design of proposed [roads](#) and [stormwater](#) corridors in the South West Rangiora Outline Development Plan Area accordingly.

For [water](#), [wastewater](#) and [stormwater](#) servicing reasons, staging of development from the south to the north is preferable, except where initial development can be serviced through a temporary commitment of existing [infrastructure](#) capacity. Development within the South West Rangiora Outline Development Plan Area is to be contiguous. The Outline Development Plan does not anticipate physically separated or ad-hoc development.

Movement Network

The Outline Development Plan provides access to this growth area through a continuation of the existing network of primary and secondary [roads](#) that ensure development integration, efficient traffic management and public transport corridors. Only these more significant [roads](#) are identified in the movement network plan. The layout of additional tertiary [roads](#) to service the residential area will respond to detailed [subdivision](#) design of those areas in conjunction with consideration of primary and secondary [road](#) locations for overland flowpath requirements. The specific roading classification of all [roads](#) will be ultimately determined at the time of development, to provide flexibility and match the eventual roading classification system made operative through the [District Plan](#). Primary and secondary [roads](#) for the South West Rangiora Outline Development Plan Area are located to ensure that all existing parcels of [land](#), when developed, can be served by the roading network.

A key movement network feature for the South West Rangiora Outline Development Plan Area is a main east/west primary [road](#) parallel to Johns [Road](#) through the centre of the growth area that curves to meet Townsend [Road](#) in the southeast of the Outline Development Plan Area.

This primary [road](#) provides [structure](#), connectivity and a high amenity corridor that will link the development to the north/south primary corridor proposed for the West Rangiora Development Area.

East/west movement patterns, largely through a number of secondary [roads](#), provide [subdivision structure](#), are integrated with existing roading connections east of the Development Area, and reflect intentions signalled through current Outline Development Plans for adjacent zoned [land](#) in the south-eastern portion of the Development Area to connect to Townsend [Road](#) and further to Pentecost [Road](#). Secondary [roads](#) generally assume a form which is of a more residential nature and cater less to through vehicle traffic. Te Matauru Primary School is located at the juncture of Pentecost [Road](#) and Johns [Road](#) and the anticipated movement network connects the residential growth area to the school well.

Pedestrian footpaths will be provided on at least one side of each internal [road](#). The movement network plan should be read in conjunction with the green network plan which also provides key informal cycling and walking corridors, such as along green linkages. The principle of walkability is incorporated through the use of a connected roading pattern, additional pedestrian links and the location of open spaces.

Open Space and [Stormwater](#) Reserves

The Outline Development Plan for the South West Rangiora Outline Development Plan Area indicates open space reserves that coincide with the existing waterway at the southern end of the [site](#) and a central open space reserve that will join an existing reserve to the east.

A network of green links is shown, some of which provide formal cycling paths as outlined in the movement plan. Green links must be bordered by at least one [road frontage](#) to provide appropriate access, visibility, amenity and safety for users (except where they provide short connections or serve to future-proof the option of a roadway). Where green links border both sides of a flow path, one [road frontage](#) between both sides is the minimum requirement.

Any required open space reserve should be prioritised in the early stages of a new residential development, and subsequently when further expansion extends beyond the margins of radius and/or resident population guidelines.

Green links that join up to [stormwater](#) management reserves and corridors that can have a passive recreational purpose for walking, cycling and playing, such as adjoining the western boundary of the Outline Development Plan Area, are proposed.

A network of proposed and existing [stormwater](#) reserves are identified in the vicinity of the South West Rangiora Outline Development Plan

Area to respond to separate [stormwater](#) catchments: immediately north of Johns [Road](#) and at the south and south-eastern points of the Development Area. The [stormwater](#) reserve west of the South West Rangiora Outline Development Plan Area is proposed to be constructed in the Ashley [River](#) breakout zone, as this [land](#) would not be particularly suitable for the construction of residential dwellings. The ground in this area is known to have relatively high [groundwater](#) and therefore it is assumed this would need to be a wet basin. The south-eastern [stormwater](#) reserve west of Townsend [Road](#), already constructed for the Townsend Fields development, are all wet basins which have allowances for conveyance of spring [water](#).

Therefore, [stormwater](#) management must be investigated and considered by individual landowners in reference to neighbouring development opportunities and servicing implications in order to achieve, as much as possible, an integrated solution.

Streams, springs and waterways are protected and included in the [stormwater](#) reserves where relevant, particularly in the south where they are present. The southern flow path is protected and green links provided at either side. Appropriate [waterbody setbacks](#) apply where required by the Natural Character of [Freshwater](#) Bodies Chapter of the [District Plan](#).

[Waterbodies](#) must be protected intact, or improved, as part of any development and any potential adverse impacts on the local and receiving [waterbody](#) ecology must be mitigated. Where possible, amenity planting will be encouraged, together with enhancement of habitat heterogeneity and in-stream conditions to improve stream health, facilitate migrations and promote recruitment. It is possible that some springs could feed directly into whanau [mahinga kai](#) areas and engagement with [mana whenua](#) is important.

[Stormwater](#) reserves provide attractive open space and visual relief in a built up residential [environment](#). [Stormwater](#) will be managed by an appropriately designed [stormwater](#) treatment system with high [amenity values](#). All of West Rangiora Development Area's [stormwater](#) catchment discharges to ground or to the South Brook. All [stormwater](#) ponds are subject to design detailing.

[Water and Wastewater Network](#)

The exact location of the [water](#) reticulation will be determined when [road](#) layouts are confirmed, noting that some identified [road](#) locations as specified under 'Movement Network' are fixed and others are flexible.

Reticulation upgrades proposed for Rangiora are both within Development Areas (East, North East and West) and within the existing network. Due to their location, all of the existing [water](#) network upgrades can be attributed to the Development Areas. Source and headworks upgrades are not Development Area specific, rather they apply to the whole scheme.

A number of [water](#) network upgrades are required to service South West Rangiora Outline Development Plan Area's catchments. Reticulation

requirements include upgrades to the existing network and extra over upgrades to development reticulation. These upgrades are required to maintain the existing levels of service to current and future customers. New mains along key [roads](#) are required to upgrade the Southwest Rangiora Supply Main and Johns [Road](#) West Supply Main.

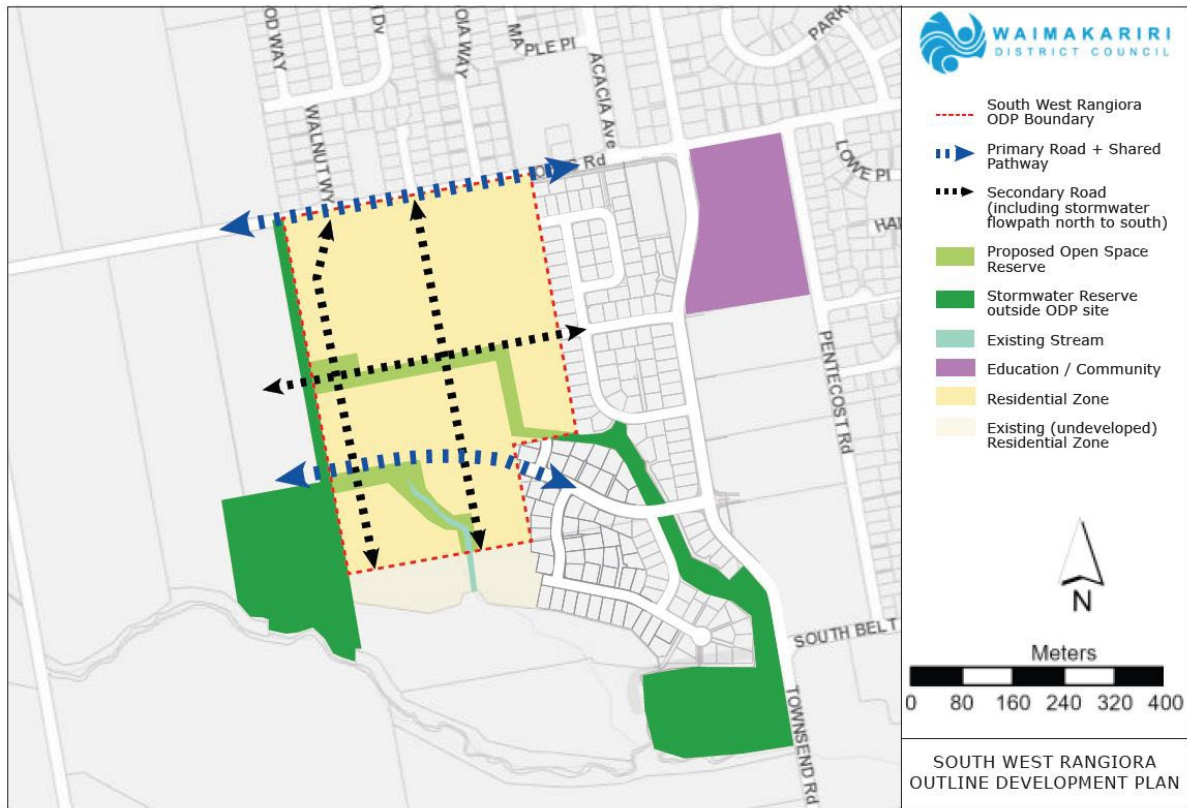
Development in the West Rangiora, North East and East Development Areas also contribute to the requirement to upgrade a number of wider Rangiora sources and headworks, such as additional wells and associated pipework at Rangiora Source, new Surface Pumps and Generator at Ayers Street Headworks, new reservoirs at Ayers Street and South Belt, and a new Surface Pump at South Belt Headworks.

Existing [water](#) reticulation extends to the edge of the South West Rangiora Outline Development Plan Area, making it straight-forward to connect to the scheme. High [groundwater](#) levels in the very southern portions of the Development Area may lead to some elevated costs.

Gravity [wastewater infrastructure](#) will service the South West Rangiora Outline Development Plan Area. Trunk mains run through the centre of the catchments to connect to the Townsend Fields trunk main (and the Rangiora Central Sewer Upgrades). Ideally, the network would be constructed from south to north, so that there is [infrastructure](#) for subsequent catchments to connect into. Temporary solutions would need to be discussed if development was to occur in the north first.

Fixed Outline Development Plan Features for the West Rangiora Development Area:

- Location of a concentration of medium density [residential activity](#) (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) immediately adjoining the new north/south [road](#)
- Location of the local/neighbourhood centre at the juncture of Oxford [Road](#) and the north/south [road](#)
- Green link with cycleway adjoining the north/south [road](#)
- Location of [stormwater](#) corridor at eastern edge of the West Rangiora Development Area
- Separated shared pedestrian/cycleway at Johns [Road](#) and southern part of new north/south [road](#)
- Cycleways at Oxford [Road](#), the new north/south [road](#), Johns [Road](#), Lehmans [Road](#) and southern flow path
- Integrated [road](#) connections with 77A Acacia Avenue, Beech Drive, Walnut Way and Sequoia Way
- Flow paths and adjoining green links and cycleways, including any required [water body setbacks](#)



WR - West Rangiora Development Area

Introduction

Future development areas will be required in order to respond to population growth. In response to this issue, the Strategic Directions and Urban Form and Development Chapters sets out objectives and policies for when and where urban expansion should take place and the mechanism to be used to provide for future urban development.

Four areas for development for Rangiora and Kaiapoi have been identified. Provisions are included which provide for their transition from an underlying Rural Lifestyle Zone to development in accordance with [DEV-WR-APP1](#) if and when they are required due to a demonstrated sufficiency shortage of [land](#) available in existing [residential zones](#). West Rangiora has been identified as a Development Area.

Urban development within a Development Area is managed through a certification process, where [land](#) is released for development by the [District Council](#)'s Chief Executive Officer or their delegate, once identified criteria are met. The future urban development provisions for a Development Area is identified through the Development Area name on the Outline Development Plan. Once development of these areas has been completed, the [District Council](#) will remove the Development Area layer and rezone the area to the appropriate zones.

The provisions in this chapter are consistent with the matters in Part 2 - [District](#) Wide Matters - Strategic Directions and give [effect](#) to matters in Part 2 - [District](#) Wide Matters - Urban Form and Development.

Objectives	
DEV-WR-O1	Development area- - West Rangiora Development Area contributes to achieving feasible development capacity for residential activities .
Policies	
DEV-WR-P1	Future urban development- -

	<p>Provide for future urban development in a Development Area (in accordance with DEV-WR-APP1 – West Rangiora Outline Development Plan) through a certification process by the District Council's Chief Executive Officer or their delegate when:</p> <ol style="list-style-type: none"> 1. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in UFD-O1 (for the medium term); 2. water supply, wastewater system and stormwater infrastructure capacity is sufficient to support the proposed development; and 3. an agreement is in place between the District Council and the developer on the method, timing and funding of any necessary water supply, wastewater system and stormwater infrastructure, open space and recreation land and transport infrastructure.
<p>DEV-WR-P2</p>	<p>Subdivision and activities</p> <p>-</p> <p>Only allow subdivision and activities where:</p> <ol style="list-style-type: none"> 1. after certification by the District Council's Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions; and 2. prior to certification by the District Council's Chief Executive Officer or their delegate, it will not undermine or inhibit the future development of the Development Area as per the West Rangiora Outline Development Plan.

Activity Rules - if certification has been approved

DEV-WR-R1 Activities provided for in General Residential Zone

Activity status: PER

Where this activity complies with the following activity rules/standards in the General Residential Zone:

1. **GRZ-R1 to GRZ-R18; and**
2. **all General Residential Zone Built Form Standards;**

Activity status when compliance not achieved: see activity status for GRZ-R1 to GRZ-R18

Activity status: RDIS

Where this activity complies with the following activity rules/standards in the General Residential Zone:

3. **GRZ-R19 to GRZ-R21; and**
4. **all General Residential Zone Built Form Standards;**

Activity status when compliance not achieved: see activity status for GRZ-R19 to GRZ-R21

Activity status: DIS

Where this activity complies with the following activity rules/standards in the General Residential Zone:

5. **GRZ-R22 to GRZ-R28; and**
6. **all General Residential Zone Built Form Standards;**

Activity status when compliance not achieved: see activity status for GRZ-R22 to GRZ-R28

Activity status: NC

Activity status when compliance not achieved: see activity status for GRZ-R29 to GRZ-R40

Where this activity complies with the following activity rules/standards in the General Residential Zone:

7. [GRZ-R29 to GRZ-R40](#); and
8. [all General Residential Zone Built Form Standards](#).

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. **The provisions of the General Residential Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-WR-S1](#) are met; and**
- b. **The activity is in accordance with the residential development requirements of [DEV-WR-APP1](#).**

DEV-WR-R21 Activities provided for in Medium Density Residential Zone

Activity status: PER

-
Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:

2. [MRZ-R1 to MRZ-R176](#); and
3. all Medium Density Residential Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [MRZ-R1 to MRZ-R176](#)

Activity status: RDIS

-
Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:

Activity status when compliance not achieved: see activity status for [MRZ-R187 to MRZ-R2019](#)

<p>2. MRZ-R187 to MRZ-R2019; and</p> <p>3. all Medium Density Residential Zone Built Form Standards.</p>	
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:</p> <p>2. MRZ-R210 to MRZ-R287; and</p> <p>3. all Medium Density Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for MRZ-R210 to MRZ-R287</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>2. MRZ-R298 to MRZ-R4039; and</p> <p>3. all Medium Density Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for MRZ-R298 to MRZ-R4039</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Medium Density Residential Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-WR-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-WR-APP1.</p>	

DEV-WR-R32 Activities provided for in Local Centre Zone

Activity status: PER

-

Where this activity complies with the following activity rules/standards in the Local Centre Zone:

2. [LCZ-R1 to LCZ-R20](#); and
3. all Local Centre Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [LCZ-R1 to LCZ-R20](#)

Activity status: RDIS

-

Where this activity complies with the following activity rules/standards in the Local Centre Zone:

2. [LCZ-R21 to LCZ-R24](#); and
3. all Local Centre Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [LCZ-R21 to LCZ-R24](#)

Activity status: DIS

-

Where this activity complies with the following activity rules/standards in the Local Centre Zone:

2. [LCZ-R25](#); and
3. all Local Centre Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [LCZ-R25](#)

Activity status: NC

-

Activity status when compliance not achieved: see activity status for [LCZ-R26 to LCZ-R27](#)

Where this activity complies with the following activity rules/standards in the Local Centre Zone:

2. ~~LCZ-R26 to LCZ-R27~~; and
3. all Local Centre Zone ~~Built Form Standards~~.

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the Local Centre Zone will apply to any part of the Development Area where the ~~District Council~~'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in ~~DEV-WR-S1~~ are met; and
- b. The activity is in accordance with the residential development requirements of ~~DEV-WR-APP1~~.

~~DEV-WR-R43~~ Activities provided for in Open Space Zone

Activity status: PER

-

Where this activity complies with the following activity rules/standards in the Open Space Zone:

2. ~~OSZ-R1 to OSZ-R15~~; and
3. all Open Space Zone ~~Built Form Standards~~.

Activity status when compliance not achieved: see activity status for ~~OSZ-R1 to OSZ-R15~~

Activity status: RDIS

-

Where this activity complies with the following activity rules/standards in the Open Space Zone:

Activity status when compliance not achieved: see activity status for ~~OSZ-R16~~

<p>2. OSZ-R16; and</p> <p>3. all Open Space Zone Built Form Standards.</p>	
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>2. OSZ-R17 to OSZ-R18; and</p> <p>3. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R17 to OSZ-R18</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>2. OSZ-R19 to OSZ-R21; and</p> <p>3. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R19 to OSZ-R21</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Open Space Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-WR-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-WR-APP1.</p>	

DEV-WR-R54 Subdivision Activities in the Development Area if certification has been approved

Activity status: CON

-

Where this activity complies with the following activity rules/standards in subdivision:

2. SUB-R1 to SUB-R3; and
3. all Subdivision Standards.

Activity status when compliance not achieved: see activity status for SUB-R1 to SUB-R3

Activity status: RDIS

-

Where this activity complies with the following activity rules/standards in subdivision:

2. SUB-R4 to SUB-R8; and
3. all Subdivision Standards.

Activity status when compliance not achieved: see activity status for SUB-R4 to SUB-R8

Activity status: DIS

-

Where this activity complies with the following activity rules/standards in subdivision:

2. SUB-R9; and
3. all Subdivision Standards.

Activity status when compliance not achieved: see activity status for SUB-R9

Activity status: NC

-

Activity status when compliance not achieved: see activity status for SUB-R10 to SUB-R11

Where this activity complies with the following activity rules/standards in [subdivision](#):

2. [SUB-R10 to SUB-R11](#); and
3. all [Subdivision Standards](#).

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the [Subdivision](#) Chapter will apply to any part of the Development Area where the Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-WR-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-WR-APP1](#).

Activity Rules - if certification has not been approved

~~DEV-WR-R65~~ Activities provided for in the Rural Lifestyle Zone

Activity status: ~~PER~~

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

1. [RLZ-R1 to RLZ-R16](#); and
2. all Rural Lifestyle Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [RLZ-R1 to RLZ-R16](#)

Activity status: ~~RDIS~~

-

Activity status when compliance not achieved: see activity status for [RLZ-R17 to RLZ-R23](#)

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

- 3. ~~RLZ-R17 to RLZ-R23~~; and
- 4. ~~all Rural Lifestyle Zone [Built Form Standards](#).~~

Activity status: DIS

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

- 5. ~~RLZ-R24 to RLZ-R38~~; and
- 6. ~~all Rural Lifestyle Zone [Built Form Standards](#).~~

Activity status: NC

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

- 7. ~~RLZ-R39 to RLZ-R41~~; and
- 8. ~~all Rural Lifestyle Zone [Built Form Standards](#).~~

Activity status when compliance not achieved: see activity status for [RLZ-R24 to RLZ-R38](#)

Activity status when compliance not achieved: see activity status for [RLZ-R39 to RLZ-R41](#)

~~For any activity statuses, any activity will need to comply with the following general activity standards:~~

- a. ~~The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-WR-S1](#) are met; and~~
- b. ~~The activity is in accordance with the residential development requirements of [DEV-WR-APP1](#).~~

DEV-WR-R76 ~~Subdivision~~ activities in the Rural Lifestyle Zone

Activity status: ~~CON~~

~~-
Where this activity complies with the following activity rules/standards in [subdivision](#):~~

- ~~1. [SUB-R1 to SUB-R3](#); and~~
- ~~2. all [Subdivision Standards](#).~~

Activity status when compliance not achieved: see activity status for [SUB-R1 to SUB-R3](#)

Activity status: ~~RDIS~~

~~-
Where this activity complies with the following activity rules/standards in [subdivision](#):~~

- ~~3. [SUB-R4 to SUB-R8](#); and~~
- ~~4. all [Subdivision Standards](#).~~

Activity status when compliance not achieved: see activity status for [SUB-R4 to SUB-R8](#)

Activity status: ~~DIS~~

~~-
Where this activity complies with the following activity rules/standards in [subdivision](#):~~

- ~~5. [SUB-R9](#); and~~
- ~~6. all [Subdivision Standards](#).~~

Activity status when compliance not achieved: see activity status for [SUB-R9](#)

Activity status: NC

Where this activity complies with the following activity rules/standards in [subdivision](#):

- 7. ~~SUB-R10 to SUB-R11~~; and
- 8. all ~~Subdivision Standards~~.

Activity status when compliance not achieved: see activity status for [SUB-R10 to SUB-R11](#)

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the [Subdivision](#) Chapter will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-WR-S1](#) are met; and
- b. The activity is in general accordance with the residential development requirements of [DEV-WR-APP1](#).

Development Areas Standards

DEV-WR-S1 Certification for West Rangiora Development Area – Criteria

- 11. The following criteria must be demonstrated to be met for the [District Council](#)'s Chief Executive Officer or their delegate to certify to enable urban development ([subdivision](#) and [land](#) use activities) in the West Rangiora Development Area:
 - a. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in [UFD-O1](#) (for the medium term) as indicated by the most recent analysis undertaken by Council in accordance with the [NPSUD](#) and published on the [District Council](#) website; and

Activity status where compliance is not achieved: N/A

- b. residential development within the West Rangiora Development Area will meet all the following criteria, demonstrated by modelling using accepted industry practice:
- i. firefighting flows within the piped treated [water](#) network servicing 95% of the Development Area will meet the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice;
 - ii. on-demand [water](#) schemes will have to capacity to deliver greater than 2000 litre connections per day at peak demand;
 - iii. [water](#) pressure within the piped treated [water](#) network servicing the Development Area is maintained at greater than 250kpa 100% of the time, and greater than 350kpa 95% of the time;
 - iv. surcharge of pipes and flooding out of manholes will not occur during a design rainfall event (20% [AEP](#)) within the [stormwater](#) network necessary for the servicing of potential development that is being released;
- c. a geotechnical assessment and flood assessment for the area has been prepared for this area and any identified risks contained within the assessments can be mitigated as part of [subdivision](#) design and consent;
- d. there is sufficient capacity available within the Rangiora [Wastewater](#) Treatment Plant for this development;

- e. a [stormwater](#) assessment has been developed for this area and any recommendation contained within the assessment is agreed by Council;
 - f. a transport [effects](#) assessment has been developed for this area and any recommendations contained within the assessment can be mitigated as part of [subdivision](#) design and consent;
 - g. a staging plan including:
 - i. the amount of new residential [sites](#) created in the development subject to the application for certification;
 - ii. number of stages for the development; and
 - iii. how many [sites](#) will be created per stage;
 - h. an agreement between the [District Council](#) and the developer on the method, timing and funding of any necessary [infrastructure](#) and open space requirements is in place.
12. If a s224 certificate under the RMA has not been granted by the [District Council](#) within three years of the date of certification, certification shall cease to apply.

Advice Notes

DEV-WR-AN1	Development areas may be certified in whole or in part, and where more areas are requested to be released than can meet the criteria of the certification process, they will be released in accordance with the staging plan.
DEV-WR-AN2	For certification to be achieved, the District Council must receive information to demonstrate that the criteria in DEV-WR-S1 are met.

DEV-WR-AN3	<p>The analysis required by criteria (1) of the certification process will be completed and published on the District Council website as follows:</p> <ol style="list-style-type: none"> 4. Residential capacity will be calculated at least annually. 5. Residential demand will be calculated at least every three years in line with Statistics New Zealand subnational projections or Waimakariri Growth Model. 6. Water and wastewater capacity in Rangiora will be calculated at least annually.
DEV-WR-AN4	<p>Where certification of land in a Development Area depends upon additional or upgraded public infrastructure, the applicant may be required to enter into a Private Development Agreement with the District Council. This will normally be required where the District Council's Development Contributions Policy does not clearly set out the specific contribution towards the costs of the additional or upgraded public infrastructure required. The Private Development Agreement will normally include a lease clause and be registered against the Computer Register (Certificate of Title) for the land, to ensure that the developer meets their agreed obligations.</p>
DEV-WR-AN5	<p>Guidance on the certification process is available on the District Council's website.</p>

Appendix

DEV-WR-APP1 - West Rangiora Outline Development Plan

[Land Use Plan](#)

The Outline Development Plan for the West Rangiora Development Area provides for a variety of [site](#) sizes, with medium density [residential activity](#) located along a key north/south primary [road](#) connection and along Johns and Oxford [Roads](#), as these are suitable to have public transport links and associated higher amenity areas. Locating medium density [residential activity](#) along these maximises opportunities for alternative transport, including walking and cycling, to local amenity and services. The location of a concentration of medium density [residential activity](#), at a minimum ratio of 70% medium density and a maximum of 30% general density, at either side of this primary [road](#) as shown in the Outline Development Plan is therefore fixed. The Medium Density Residential Zone enables a minimum lot size of 200m² while the General Residential Zone enables a minimum lot size of 500m². Overall, the West Rangiora Development Area shall achieve a minimum residential

density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved.

A neighbourhood/local centre, shown in the Outline Development Plan as commercial/business, is located at the juncture of the north/south primary [road](#) and Oxford [Road](#), to which the medium density [residential activity](#) in this vicinity connects well. This enables access to local convenience goods and services to a maximised proportion of the Development Area's resident population, which has positive flow-on [effects](#) on neighbourhood businesses' sustainability. For these reasons, together with the centre's deliberate location on a [strategic road](#) (Oxford [Road](#)) and primary [road](#) (north/south primary [road](#)), this is a fixed component of the Outline Development Plan. An optional second, smaller neighbourhood/local centre is located on Johns [Road](#), to provide local convenience goods and services to the largely southern catchment of the Development Area.

[Land](#) near the Southbrook Stream at the south of the Development Area is likely to be affected by Ashley [River](#)/Rakahuri flooding in a 1 in 200-year localised flooding and Ashley [River](#)/Rakahuri breakout event. Feasibility of residential development in this area is going to be more challenging as a result.

An area to the west of the main north/south primary [road](#) is future-proofed for a potential small [community facility](#). A new primary school, Te Matauru Primary School, is completed at Pentecost [Road](#). It could be feasible that [preschool](#)(s) are established in the Development Area.

For [water](#), [wastewater](#) and [stormwater](#) servicing reasons, staging of development from the south to the north is preferable, except where initial development can be serviced through a temporary commitment of existing [infrastructure](#) capacity. Development within the West Rangiora Development Area is to be contiguous. The Outline Development Plan does not anticipate physically separated or ad-hoc development.

Movement Network

The Outline Development Plan for the West Rangiora Development Area provides access to this growth area through a network of primary and secondary [roads](#) that ensure development integration, efficient traffic management and public transport corridors. Only these more significant [roads](#) are identified in the movement network plan. The layout of additional tertiary [roads](#) to service the residential areas will respond to detailed [subdivision](#) design of those areas. The specific roading classification of all [roads](#) will be ultimately determined at the time of development, to provide flexibility and match the eventual roading classification system made operative through the [District Plan](#). Primary and secondary [roads](#) for the West Rangiora Development Area are located to ensure that all existing parcels of [land](#), when developed, can be served by the roading network.

A key movement network feature for the West Rangiora Development Area is a main north/south primary [road](#) parallel to Lehmans [Road](#) through the centre of the growth area that intersects with Oxford [Road](#) in the north of the Development Area and curves to meet Townsend [Road](#) in the southeast of the Development Area. This north/south primary [road](#) provides [structure](#), connectivity and a high amenity corridor. A green corridor conducive to walking and cycling adjoins it on one side, and medium density [residential activity](#) sleeves it, which is also located along Johns [Road](#), as these have public transport links and maximise the proportion of residents accessing high amenity and connectivity areas. This primary [road](#) will be designed to promote reduced vehicle speeds and increased safety to other street users. Intersection treatment and/or upgrades need to be considered at the main intersections of the north/south primary [road](#) and Oxford/Johns [Roads](#) to reduce traffic speeds and enhance safety.

East/west movement patterns, largely through a number of secondary [roads](#), provide [subdivision structure](#), are integrated with existing roading connections east of the Development Area, and reflect intentions signalled through current Outline Development Plans for adjacent zoned [land](#) in the south-eastern portion of the Development Area to connect to Townsend [Road](#) and further to Pentecost [Road](#). Secondary [roads](#) generally assume a form which is of a more residential nature and cater less to through vehicle traffic. Te Matauru Primary School is located at the juncture of Pentecost [Road](#) and Johns [Road](#) and the anticipated movement network connects the residential growth area to the school well.

No new east/west roading connections will intersect with Lehmans [Road](#) to recognise and reinforce this western urban edge and continue to ensure the safety and legibility of Lehmans [Road](#) for bypassing traffic. However the Outline Development Plan identifies two key greenways connecting to Lehmans [Road](#) to allow future flexibility in this regard. The exact locations of these are flexible, and subject to detailed [subdivision](#) design, however their provision is required including the appropriate widths to enable conversion into a roadway if necessary in the future.

Development of the Brick Kiln area north of Oxford [Road](#) is envisaged to function optimally with a [road](#) through the centre of the existing property boundaries that then connects to Charles Upham Drive. Brick Kiln [Road](#) to the east, and the currently shared [accessway](#) to the west, will be formalised into [roads](#).

Cycling [infrastructure](#) is provided within a number of key movement corridors. A separated shared cycling path adjoins the main north/south primary [road](#), continues along the edge of the southern [stormwater](#) management reserve and connects to a cycling path along the South Brook. A separated [shared use path](#) also connects the main north/south primary [road](#) to Te Matauru Primary School to provide a safe, active journey.

Driveways to new properties immediately adjoining separated shared use paths must be provided from the rear to avoid vehicle/cyclist/pedestrian conflict. A green link along the length of Lehmans [Road](#) includes a cycleway, and further on-[road](#) cycling [infrastructure](#) is shown at key routes along Oxford [Road](#) and Johns [Road](#). These connect to the wider cycling network for Rangiora west, outside of the Development Area.

Pedestrian footpaths will be provided on at least one side of each internal [road](#). The movement network plan should be read in conjunction with the green network plan which also provides key informal cycling and walking corridors, such as along green linkages. The principle of walkability is incorporated through the use of a connected roading pattern, additional pedestrian links and the location of open spaces.

Open Space and [Stormwater](#) Reserves

The Outline Development Plan for the West Rangiora Development Area indicates two open space reserve locations together with a network of [stormwater](#) management areas and green corridors throughout the [site](#).

One open space reserve is located to the west of the key north/south primary [road](#), and adjoins a green link and small [community facility](#). The total size of this asset will be approximately 0.5ha. A second open space reserve is located south of Johns [Road](#), east of the north/south primary [road](#) shown for the Development Area. These reserves are located strategically in places that are highly prominent, easily accessed and have the ability to add to the character and identity of the development, as well as being within a 500m radius of all residential households in the West Rangiora Development Area. Flexibility of the exact location of the reserves is possible, as long as they are [accessible](#) within a 500m radius of the northern and southern residential areas in the West Rangiora Development Area respectively. To provide functionality, access and visibility, open reserves must be bordered by at least one [road](#) and either a second [road](#) or public [accessway](#), such as a green link.

A network of green links is shown, some of which provide formal cycling paths as outlined in the movement plan. Green links must be bordered by at least one [road frontage](#) to provide appropriate access, visibility, amenity and safety for users (except where they provide short connections or serve to future-proof the option of a roadway). Where green links border both sides of a flow path, one [road frontage](#) between both sides is the minimum requirement.

Any required open space reserve should be prioritised in the early stages of a new residential development, and subsequently when further expansion extends beyond the margins of radius and/or resident population guidelines.

Existing Oak trees on the north side of Oxford [Road](#) near the Lehmans [Road](#) intersection should be retained, including one [notable tree](#) listed in the [District Plan](#) at 100 Oxford [Road](#). New trees could be planted on the south of Oxford [Road](#) to compliment these and strengthen the west Rangiora gateway.

The key north/south primary [road](#) through the centre of the West Rangiora Development Area includes a green corridor adjacent to it that is conducive to walking, cycling and recreation. This strip provides high amenity for the neighbouring medium density residential developments. This green corridor allows for additional plantings for street enhancement and a physically separated cycling and walking path from the primary [road](#). Green links also join up to [stormwater](#) management reserves and corridors that can have a passive recreational purpose for walking, cycling and playing, such as along the eastern edge of the Development Area. This [stormwater](#) corridor, which is anticipated to be approximately 15m wide, is required to avoid runoff in larger rainfall events entering the existing urban area of Rangiora.

A network of [stormwater](#) reserves are identified for the West Rangiora Development Area to respond to separate [stormwater](#) catchments: immediately north of Johns [Road](#), and at the south and south-eastern points of the Development Area. The southern [stormwater](#) reserve east of Lehmans [Road](#) is proposed to be constructed in the Ashley [River](#) breakout zone, as this [land](#) would not be particularly suitable for the construction of residential dwellings. The ground in this area is known to have relatively high [groundwater](#) and therefore it is assumed this would need to be a wet basin. The south-eastern [stormwater](#) reserve west of Townsend [Road](#), already constructed for the Townsend Fields development, are all wet basins which have allowances for conveyance of spring [water](#). The optimal location for a [stormwater](#) reserve to cater for the catchment of development north of Oxford [Road](#), west of Brick Kiln [Road](#) in a comprehensive manner is at the south-eastern point within this area of [land](#). However, fragmented property ownership within the Development Area north of Oxford [Road](#) and consequently, a possibly [site](#) by [site](#) development pattern may dictate alternative [stormwater](#) management solutions, such as the use of [on-site](#) smaller (temporary or otherwise) [stormwater](#) reserves, soak pits, [swales](#) and/or raingardens. Therefore, [stormwater](#) management must be investigated and considered by individual landowners in reference to neighbouring development opportunities and servicing implications in order to achieve, as much as possible, an integrated solution.

Streams, springs and waterways are protected and included in the [stormwater](#) reserves where relevant, particularly in the south where they are present. Both southern flow paths are protected and green links provided at either side. Appropriate [waterbody setbacks](#) apply where required by the Natural Character of [Freshwater](#) Bodies Chapter of the [District Plan](#).

[Waterbodies](#) must be protected intact, or improved, as part of any development and any potential adverse impacts on the local and receiving [waterbody](#) ecology must be mitigated. Where possible, amenity planting will be encouraged, together with enhancement of habitat

heterogeneity and in-stream conditions to improve stream health, facilitate migrations and promote recruitment. It is possible that some springs could feed directly into whanau [mahinga kai](#) areas and engagement with [mana whenua](#) is important.

[Stormwater](#) reserves provide attractive open space and visual relief in a built up residential [environment](#), and the location of the Johns [Road stormwater](#) reserve in particular provides opportunities for the adjacent medium density residential areas to look out onto it and benefit from its amenity. [Stormwater](#) will be managed by an appropriately designed [stormwater](#) treatment system with high [amenity values](#). All of West Rangiora Development Area's [stormwater](#) catchment discharges to ground or to the South Brook. All [stormwater](#) ponds are subject to design detailing. The Outline Development Plan for the West Rangiora Development Area provides an indicative size and location based on likely catchments around the key [infrastructure](#).

[Water and Wastewater Network](#)

The provision of reticulated [water supply](#) assumes a skeleton network for the West Rangiora Development Area, where only [water](#) pipes 100mm in diameter and greater are specified. The exact location of the reticulation may change when [road](#) layouts are confirmed, noting that some identified [road](#) locations as specified under 'Movement Network' are fixed and others are flexible.

Reticulation upgrades proposed for Rangiora are both within Development Areas (East, North East and West) and within the existing network. Due to their location, all of the existing network upgrades can be attributed to the Development Areas. Source and headworks upgrades are not Development Area specific, rather they apply to the whole scheme.

A number of [water](#) network upgrades are required to service West Rangiora Development Area's four catchments. Reticulation requirements include upgrades to the existing network and extra over upgrades to development reticulation. These upgrades are required to maintain the existing levels of service to current and future customers. New mains along key [roads](#) are required to upgrade the Southwest Rangiora Supply Main, Johns [Road](#) West Supply Main, Lehman's [Road](#) Ring Main and Ayers Street Supply Main.

Development in the West Rangiora, North East and East Development Areas also contribute to the requirement to upgrade a number of wider Rangiora sources and headworks, such as additional wells and associated pipework at Rangiora Source, new Surface Pumps and Generator at Ayers Street Headworks, new reservoirs at Ayers Street and South Belt, and a new Surface Pump at South Belt Headworks.

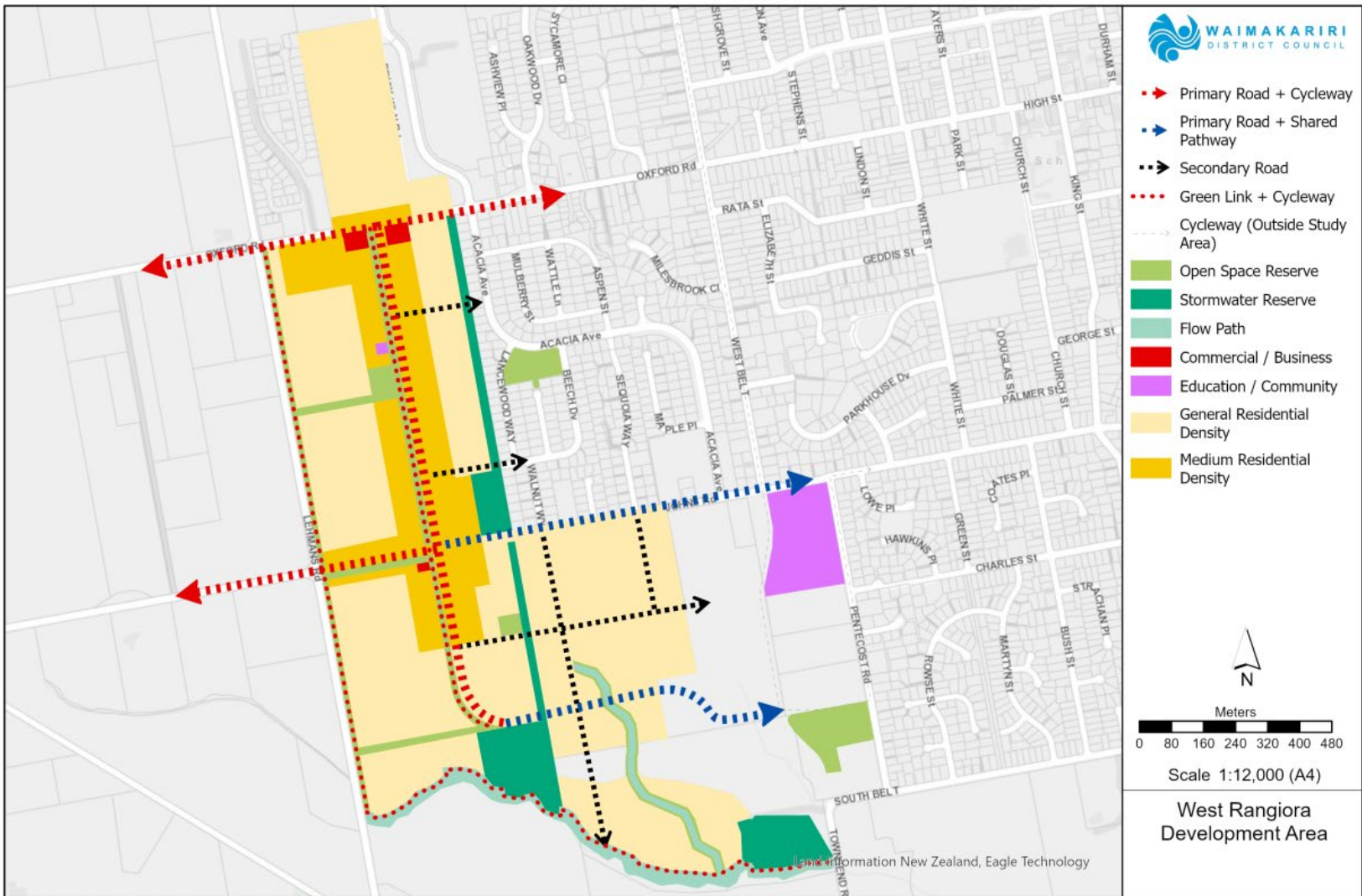
Existing [water](#) reticulation extends to the edge of the West Rangiora Development Area, making it straight-forward to connect to the scheme. High [groundwater](#) levels in the very southern portions of the Development Area may lead to some elevated costs.

Gravity [wastewater infrastructure](#) will service the West Rangiora Development Area and only the key trunk [infrastructure](#) is shown. Trunk mains run through the centre of the catchments to eventually connect to the Townsend Fields trunk main (and the Rangiora Central Sewer Upgrades). Ideally, the network would be constructed from south to north, so that there is [infrastructure](#) for subsequent catchments to connect into. Temporary solutions would need to be discussed if development was to occur in the north first.

Fixed Outline Development Plan Features for the West Rangiora Development Area:

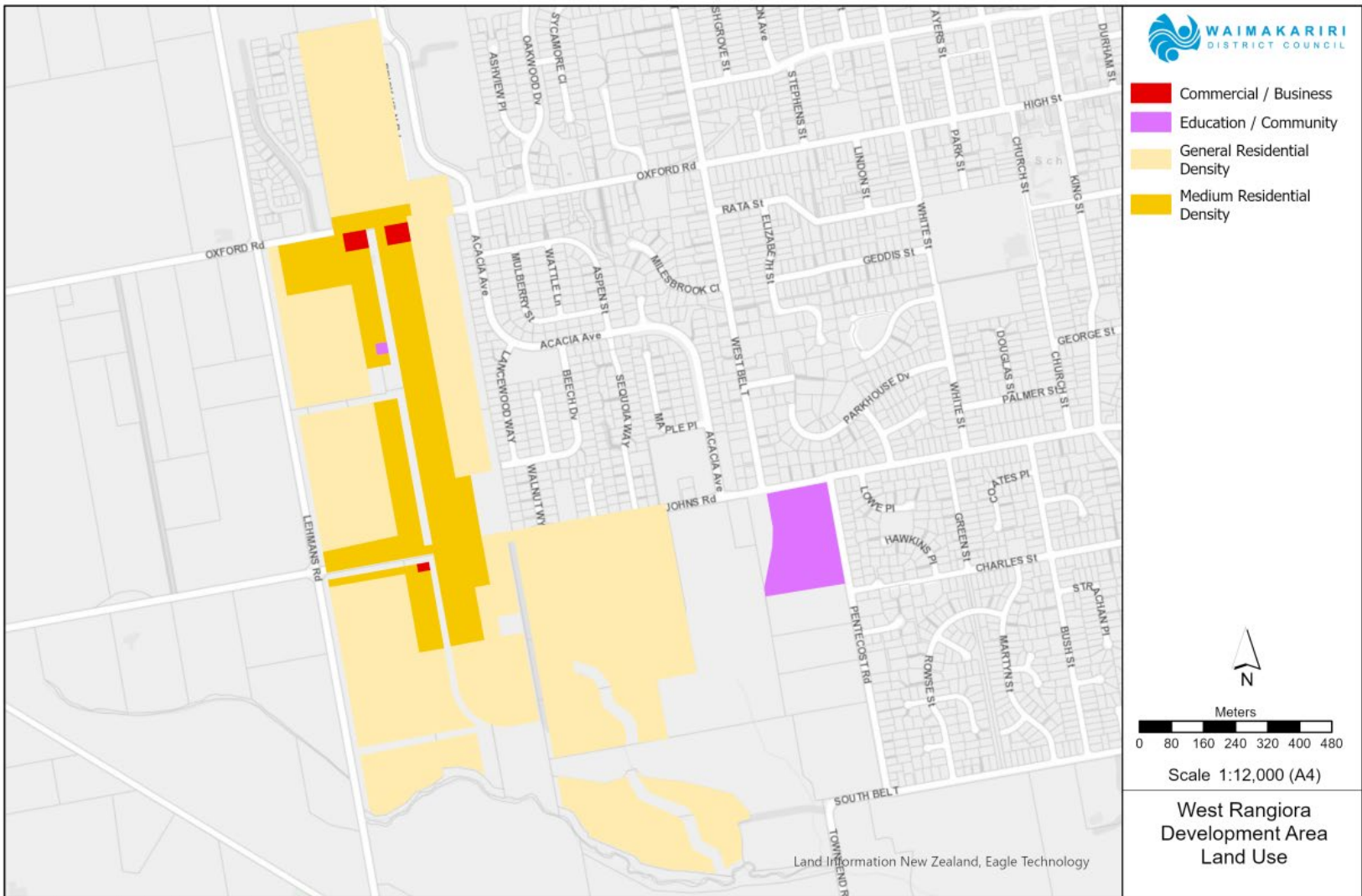
- Location of a concentration of medium density [residential activity](#) (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) immediately adjoining the new north/south [road](#)
- Location of the local/neighbourhood centre at the juncture of Oxford [Road](#) and the north/south [road](#)
- Green link with cycleway adjoining the north/south [road](#)
- Location of [stormwater](#) corridor at eastern edge of the West Rangiora Development Area
- Separated shared pedestrian/cycleway at Johns [Road](#) and southern part of new north/south [road](#)
- Cycleways at Oxford [Road](#), the new north/south [road](#), Johns [Road](#), Lehmans [Road](#) and southern flow path
- Integrated [road](#) connections with 77A Acacia Avenue, Beech Drive, Walnut Way and Sequoia Way
- Flow paths and adjoining green links and cycleways, including any required [water body setbacks](#)

Rangiora West Outline Development Plan - Overall



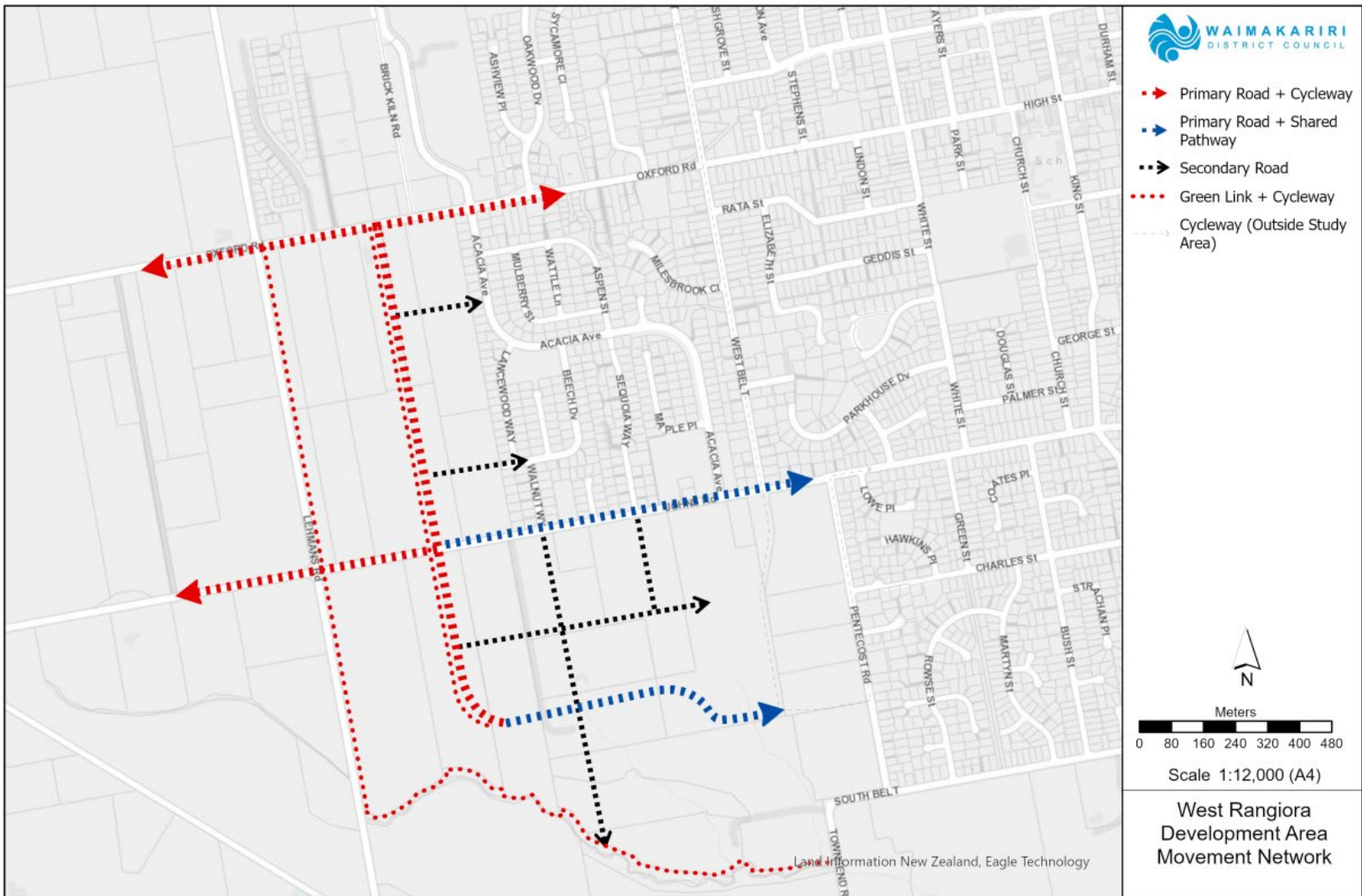
Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora West Outline Development Plan - [Land Use](#) Use



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora West Outline Development Plan - Movement Network



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora West Outline Development Plan - Open Space and [Stormwater](#) Reserve

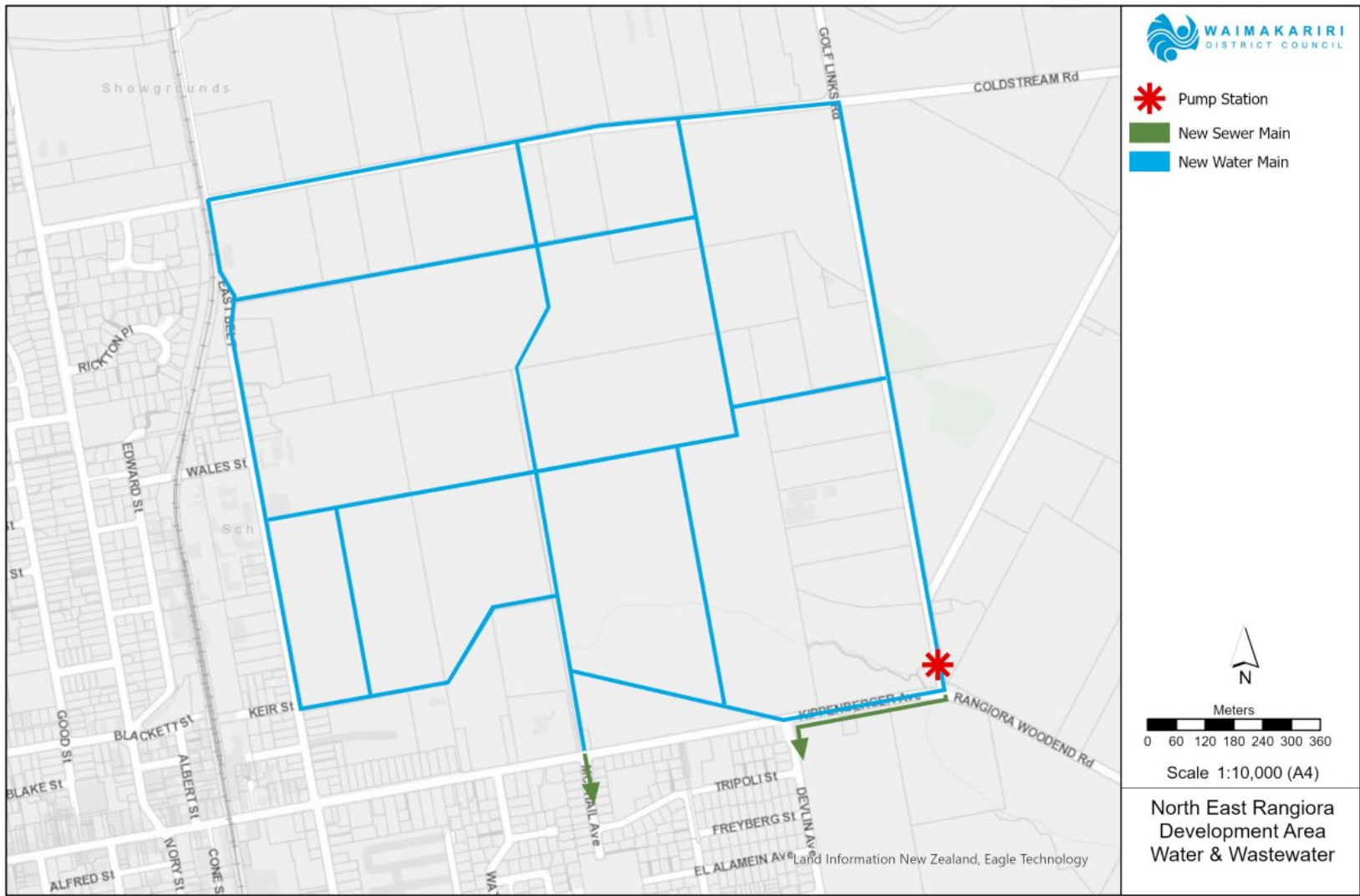


Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora West Outline Development Plan - [Water](#) and [Wastewater](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

NER - North East Rangiora Development Area

Introduction

Future development areas will be required in order to respond to population growth. In response to this issue, the Strategic Directions and Urban Form and Development Chapters sets out objectives and policies for when and where urban expansion should take place and the mechanism to be used to provide for future urban development.

Four areas for development for Rangiora and Kaiapoi have been identified. Provisions are included which provide for their transition from an underlying Rural Lifestyle Zone to development in accordance with [DEV-NER-APP1](#) if and when they are required due to a demonstrated sufficiency shortage of [land](#) available in existing [residential zones](#). North East Rangiora has been identified as a Development Area.

Urban development within a Development Area is managed through a certification process, where [land](#) is released for development by the Chief Executive Officer or their delegate, once identified criteria are met. The future urban development provisions for a Development Area is identified through the Development Area name on the Outline Development Plan. Once development of these areas has been completed, the [District Council](#) will remove the Development Area layer and rezone the area to the appropriate zones.

The provisions in this chapter are consistent with the matters in Part 2 - [District](#) Wide Matters - Strategic Directions and give [effect](#) to matters in Part 2 - [District](#) Wide Matters - Urban Form and Development.

Objectives	
DEV-NER-O1	Development Area - North East Rangiora Development Area contributes to achieving feasible development capacity for residential activities .
Policies	
DEV-NER-P1	Future urban development - Provide for future urban development in a Development Area (in accordance with DEV-NER-APP1 – North East Outline Development Plan) through a certification process by the Chief Executive Officer or their delegate when:

	<ol style="list-style-type: none"> 1. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in UFD-O1 (for the medium term); 2. water supply, wastewater and stormwater infrastructure capacity is sufficient to support the proposed development; and 3. an agreement is in place between the District Council and the developer on the method, timing and funding of any necessary water supply, wastewater and stormwater infrastructure, open space and transportation infrastructure.
DEV-NER-P2	<p>Subdivision and activities</p> <p>-</p> <p>Only allow subdivision and activities where:</p> <ol style="list-style-type: none"> 1. after certification by the Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions; and 2. prior to certification by the Chief Executive Officer or their delegate, it will not undermine or inhibit the future development of the Development Area as per the North East Rangiora Outline Development Plan.

Activity Rules – if certification has been approved

DEV-NER-R1 Activities provided for in General Residential Zone	
<p>Activity status: PER</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <ol style="list-style-type: none"> 1. GRZ-R1 to GRZ-R18; and 2. all General Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for GRZ-R1 to GRZ-R18</p>

<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>3. GRZ R19 to GRZ R21; and</p> <p>4. all General Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for GRZ R19 to GRZ R21</p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>5. GRZ R22 to GRZ R28; and</p> <p>6. all General Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for GRZ R22 to GRZ R28</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>7. GRZ R29 to GRZ R40; and</p> <p>8. all General Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for GRZ R29 to GRZ R40</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the General Residential Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-NER-S1 are met; and</p>	

b. The activity is in accordance with the residential development requirements of [DEV-NER-APP1](#).

DEV-NER-R2 Activities provided for in Medium Density Residential Zone

Activity status: PER

-
Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:

1. [MRZ-R1 to MRZ-R176](#); and
2. all Medium Density Residential [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [MRZ-R1 to MRZ-R176](#)

Activity status: RDIS

-
Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:

3. [MRZ-R187 to MRZ-R2019](#); and
4. all Medium Density Residential [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [MRZ-R187 to MRZ-R2019](#)

Activity status: DIS

-
Where this activity complies with the following activity rules/standards in the General Residential Zone:

5. [MRZ-R210 to MRZ-R287](#); and

Activity status when compliance not achieved: see activity status for [MRZ-R210 to MRZ-R287](#)

<p>6. all Medium Density Residential Built Form Standards.</p>	
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>7. MRZ-R298 to MRZ-R4039; and</p> <p>8. all Medium Density Residential Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for MRZ-R298 to MRZ-R4039</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Medium Density Residential Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-NER-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-NER-APP1.</p>	
<p>DEV-NER-R3 Activities provided for in Local Centre Zone</p>	
<p>Activity status: PER</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <p>1. LCZ-R1 to LCZ-R20; and</p> <p>2. all Local Centre Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for LCZ-R1 to LCZ-R20</p>

<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <p>3. LCZ-R21 to LCZ-R24; and</p> <p>4. all Local Centre Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for LCZ-R21 to LCZ-R24</p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <p>5. LCZ-R25; and</p> <p>6. all Local Centre Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for LCZ-R25</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <p>7. LCZ-R26 to LCZ-R27; and</p> <p>8. all Local Centre Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for LCZ-R26 to LCZ-R27</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Local Centre Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-NER-S1 are met; and</p>	

b. The activity is in accordance with the residential development requirements of [DEV-NER-APP1](#).

DEV-NER-R4 Activities provided for in Open Space Zone

Activity status: PER

-
Where this activity complies with the following activity rules/standards in the Open Space Zone:

1. [OSZ-R1 to OSZ-R15](#); and
2. all Open Space Zone [Built Form Standards](#).

~~Activity status when compliance not achieved: see activity status for [OSZ-R1 to OSZ-R15](#)~~

Activity status: RDIS

-
Where this activity complies with the following activity rules/standards in the Open Space Zone:

3. [OSZ-R16](#); and
4. all Open Space Zone [Built Form Standards](#).

~~Activity status when compliance not achieved: see activity status for [OSZ-R16](#)~~

Activity status: DIS

-
Where this activity complies with the following activity rules/standards in the Open Space Zone:

5. [OSZ-R17 to OSZ-R18](#); and
6. all Open Space Zone [Built Form Standards](#).

~~Activity status when compliance not achieved: see activity status for [OSZ-R17 to OSZ-R18](#)~~

<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <ol style="list-style-type: none"> 7. OSZ-R19 to OSZ-R21; and 8. all Open Space Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for OSZ-R19 to OSZ-R21</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <ol style="list-style-type: none"> a. The provisions of the Open Space Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-NER-S1 are met; and b. The activity is in accordance with the residential development requirements of DEV-NER-APP1. 	
<p>DEV-NER-R5 Subdivision Activities in the Development Area if certification has been approved</p>	
<p>Activity status: CON</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in subdivision:</p> <ol style="list-style-type: none"> 1. SUB-R1 to SUB-R3; and 2. all relevant Subdivision Standards. 	<p>Activity status when compliance not achieved: see activity status for SUB-R1 to SUB-R3</p>
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in subdivision:</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R4 to SUB-R8</p>

<p>3. SUB-R4 to SUB-R8; and 4. all relevant Subdivision Standards.</p>	
<p>Activity status: DIS - Where this activity complies with the following activity rules/standards in subdivision:</p> <p>5. SUB-R9; and 6. all relevant Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R9</p>
<p>Activity status: NC - Where this activity complies with the following activity rules/standards in subdivision:</p> <p>7. SUB-R10 to SUB-R11; and 8. all relevant Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R10 to SUB-R11</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Subdivision chapter will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-NER-S1 are met; and b. The activity is in accordance with the residential development requirements of DEV-NER-APP1.</p>	

Activity Rules – if certification has not been approved

DEV-NER-R6 Activities provided for in the Rural Lifestyle Zone

Activity status: PER

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

1. [RLZ-R1 to RLZR16](#); and
2. all Rural Lifestyle Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [RLZ-R1 to RLZ-R16](#)

Activity status: RDIS

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

3. [RLZ-R17 to RLZ-R23](#); and
4. all Rural Lifestyle Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [RLZ-R17 to RLZ-R23](#)

Activity status: DIS

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

5. [RLZ-R24 to RLZ-R38](#); and
6. all Rural Lifestyle Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [RLZ-R24 to RLZ-R38](#)

Activity status: NC

-

Activity status when compliance not achieved: see activity status for [RLZ-R39 to RLZ-R41](#)

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

- 7. ~~RLZ-R39 to RLZ-R41~~; and
- 8. all Rural Lifestyle Zone ~~Built Form Standards~~.

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the ~~District Council~~'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in ~~DEV-NER-S1~~ are met; and
- b. The activity is in accordance with the residential development requirements of ~~DEV-NER-APP1~~.

DEV-NER-R7 ~~Subdivision~~ activities in the Rural Lifestyle Zone

Activity status: CON

-
Where this activity complies with the following activity rules/standards in ~~subdivision~~:

- 1. ~~SUB-R1 to SUB-R3~~; and
- 2. all ~~Subdivision Standards~~.

Activity status: RDIS

-
Where this activity complies with the following activity rules/standards in ~~subdivision~~:

- 3. ~~SUB-R4 to SUB-R8~~; and

~~Activity status when compliance not achieved: see activity status for [SUB-R1 to SUB-R3](#)~~

~~Activity status when compliance not achieved: see activity status for [SUB-R4 to SUB-R8](#)~~

<p>4. all Subdivision Standards.</p>	
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in subdivision:</p> <p>5. SUB-R9; and</p> <p>6. all Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R9</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in subdivision:</p> <p>7. SUB-R10 to SUB-R11; and</p> <p>8. all Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R10 to SUB-R11</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Subdivision Chapter will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-NER-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-NER-APP1.</p>	

Development Areas Standards

DEV-NER-S1 Certification for North East Rangiora Development Area – Criteria

1. The following criteria must be demonstrated to be met for the [District Council](#)'s Chief Executive Officer or their delegate to certify to enable urban development ([subdivision](#) and [land](#) use activities) in the North East Rangiora Development Area:
 - a. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in [UFD-O1](#) (for the medium term) as indicated by the most recent analysis undertaken by Council in accordance with the [NPSUD](#) and published on the [District Council](#) website; and
 - b. residential development within the North East Rangiora Development Area will meet all the following criteria, demonstrated by modelling using accepted industry practice:
 - i. firefighting flows within the piped treated [water](#) network servicing 95% of the Development Area will meet the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice;
 - ii. on-demand [water](#) schemes will need to have capacity to deliver greater than 2500 litre connections per day at peak demand;
 - iii. [water](#) pressure within the piped treated [water](#) network servicing the Development Area is maintained at greater than 250kpa 100% of the time, and greater than 350kpa 95% of the time; and

Activity status where compliance is not achieved: N/A

- iv. surcharge of pipes and flooding out of manholes will not occur during a design rainfall event (20% [AEP](#)) within the [stormwater](#) network necessary for the servicing of potential development that is being released;
- c. a geotechnical assessment and flood assessment for the area has been prepared for this area and any identified risks contained within the assessments can be mitigated as part of [subdivision](#) design and consent;
- d. there is sufficient capacity available within the Rangiora [Wastewater](#) Treatment Plant for this development;
- e. a [stormwater](#) assessment has been developed for this area and any recommendation contained within the assessment is agreed by Council;
- f. a transport [effects](#) assessment has been developed for this area and any recommendations contained within the assessment can be mitigated as part of [subdivision](#) design and consent;
- g. a staging plan including:
 - i. the amount of new residential [sites](#) created in the development subject to the application for certification;
 - ii. number of stages for the development; and
 - iii. how many [sites](#) will be created per stage;
- h. an agreement between the [District Council](#) and the developer on the method, timing and funding of any necessary [infrastructure](#) and open space requirements is in place.

2. If a s224 certificate under the RMA has not been granted by the [District Council](#) within three years of the date of certification, certification shall cease to apply.

Advice Notes

DEV-NER-AN1	Development areas may be certified in whole or in part, and where more areas are requested to be released than can meet the criteria of the certification process, they will be released in accordance with the staging plan.
DEV-NER-AN2	For certification to be achieved, the District Council must receive information to demonstrate that the criteria in DEV-NER-S1 are met.
DEV-NER-AN3	<p>The analysis required by criteria (1) of the certification process will be completed and published on the District Council website as follows:</p> <ol style="list-style-type: none"> 1. Residential capacity will be calculated at least annually. 2. Residential demand will be calculated at least every three years in line with Statistics New Zealand subnational projections or Waimakariri Growth Model. 3. Water and Wastewater capacity in Rangiora will be calculated at least annually.
DEV-NER-AN4	Where certification of land in a Development Area depends upon additional or upgraded public infrastructure , the applicant may be required to enter into a Private Development Agreement with the District Council . This will normally be required where the District Council 's Development Contributions Policy does not clearly set out the specific contribution towards the costs of the additional or upgraded public infrastructure required. The Private Development Agreement will normally include a lease clause and be registered against the Computer Register (Certificate of Title) for the land , to ensure that the developer meets their agreed obligations.
DEV-NER-AN5	Guidance on the certification process is available on the District Council 's website.

Appendix

DEV-NER-APP1 - North East Rangiora Outline Development Plan

There are two development options for the North East Rangiora Development Area, and the realisation of one option over the other is likely to take some time and is subject to agreement between all the relevant landowners and parties involved. The key difference between the options is the exact location of the education precinct. If this shifts slightly north from its current location, as per Option A, there are implications for a number of other development features predominantly present in the western portion of the North East Rangiora Development Area. Other Outline Development Plan development features remain largely unaffected. The below sections identify where there are specifically different development outcomes under the two options.

Land Use Plan

The Outline Development Plan for the North East Rangiora Development Area provides for a variety of [site](#) sizes. Medium density [residential activity](#) is located in the general south/southwest portion of the Development Area, closest to the Rangiora town centre, and immediately adjacent to a neighbourhood/local centre, shown in the Outline Development Plan as commercial/business, located at the key north/south primary [road](#) that connects Kippenberger Avenue to Coldstream [Road](#). This maximises opportunities for walking/cycling proximity to local amenity and services, and enables access to local convenience goods and services to a maximised proportion of the Development Area's resident population which has positive flow-on [effects](#) on neighbourhood businesses' sustainability.

~~Option A, which sees the education precinct shifted slightly north, enables the [land](#) located in the south-west of the North East Rangiora Development Area to be utilised for medium density residential development. Locating medium density [residential activity](#) close to the Rangiora town centre takes advantage of the opportunity of a maximised resident population being able to access the Rangiora town centre in close proximity, and reinforces the intent of the Council's Rangiora Town Centre Strategy. The latter anticipates an enhanced pedestrian/cycling connection between the centre's north-eastern 'Station Corner' precinct and the residential growth area, with a possible additional crossing over the railway to connect to Keir Street.¹⁹ Option B, which retains the education precinct within its current [footprint](#), enables less medium density residential development in the south-west of the Development Area however retains the current extent of Rangiora High School's farmland for use by students²⁰. Under both options, the multi-sports precinct would ultimately be extended to the [land](#) south of the existing Cricket Oval grounds east of East Belt.~~

For both options, the location of these medium density residential areas are fixed in the Outline Development Plan. This requires a concentration of medium density in these locations, meaning a minimum ratio of 70% medium density residential zone density and maximum

¹⁹

²⁰ Ministry of Education [277.77]

of 30% general residential zone density. Additionally, medium density residential development could be located adjacent to the Rangiora Golf Course at the north-eastern edge of the Development Area, as well as adjacent to any internalised [stormwater](#) management areas or open space reserves, such as shown in the north-eastern reserve. This takes advantage of opportunities to overlook such high amenity features and offset limited private outdoor space feasible in medium density residential development. The Medium Density Residential Zone enables a minimum lot size of 200m² while the General Residential Zone enables a minimum lot size of 500m². Overall, the North East Rangiora Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved.

The neighbourhood/local centre is strategically located to take advantage of high visibility, activity and traffic flow, including public transport, generated by the north/south primary [road](#), in a location to which the medium density [residential activity](#) in this vicinity connects well. The co-location of the neighbourhood/local centre with a flow path in both development options offers opportunities for the [commercial activity](#), particularly hospitality, to benefit from adjacent high amenity natural features. For these reasons, this is a fixed component of the Outline Development Plan.

The Rangiora High School is located within the North East Rangiora Development Area. Development option A for this Development Area anticipates that the education precinct moves slightly northward to border the recreation and sports [sites](#) at the north, allowing greater connection to adjacent sports facilities and maximised opportunities for residential development closer to the town centre. This remains subject to agreement of all directly affected landowners and parties. Option B sees the education precinct remain in its existing location. The school grounds also encompass the North Canterbury Community College. It is also feasible that [preschool](#)(s) are established in the Development Area. The historic Belgrove farmhouse and setting, located at 52 Kippenberger Avenue, has [historic heritage](#) value and is protected under the [District Plan](#) as a heritage [site](#) (HH052).

Development within the North East Rangiora Development Area is to be contiguous; the Outline Development Plan does not anticipate physically separated or ad-hoc development.

Movement Network

The Outline Development Plan for the North East Rangiora Development Area provides access to this growth area through a network of primary and secondary [roads](#) that ensure development integration, efficient traffic management and public transport corridors. Only these more significant [roads](#) are identified in the movement network plan. The layout of additional tertiary [roads](#) to service the residential areas will respond to detailed [subdivision](#) design of those areas. The specific roading classification of all [roads](#) will be ultimately determined at the time of

development, to provide flexibility and the ability to match the eventual roading classification system made operative through the [District Plan](#). Primary and secondary [roads](#) for the North East Rangiora Development Area are located to ensure that all existing parcels of [land](#), when developed, can be served by the roading network.

A key movement network feature for the North East Rangiora Development Area is a main north/south primary [road](#) which forms part of a wider future key Rangiora eastern north/south [road](#) connection that extends southward through the Rangiora North East Development Area and beyond to connect to Lineside [Road](#). This [road](#)'s entry into the North East Rangiora Development Area is fixed at the [site](#) of 76 Kippenberger Ave, to enable it to connect to MacPhail Avenue south of Kippenberger Avenue. The latter has been installed at a configuration that future-proofs it to fulfil this wider roading function. The northern exit of this north/south primary [road](#) connection must intersect with Coldstream [Road](#) between the [District Council](#)'s Multi Sports Facility [site](#) at the northwest of the Development Area, and the Golf Course at the northeast of the Development Area. This primary [road](#) will be suitable for public transport, and will include separated shared pedestrian and cycle paths to allow for active modes. Its design will promote reduced vehicle speeds and increased safety to other street users. Rear access for driveways must be provided to new properties immediately adjoining the separated [shared use path](#) to avoid vehicle/cyclist/pedestrian conflict. The installation of an appropriate intersection with Kippenberger Avenue and MacPhail Avenue will be required, as well as at its exit to Coldstream [Road](#).

Intersecting the main north/south primary [road](#) will be a number of secondary [roads](#), to provide [subdivision structure](#) and logical east/west movement corridors for vehicles, pedestrians and cyclists. Secondary [roads](#) generally assume a form which is of a more residential nature and cater less to through vehicle traffic. A fixed component of the movement network is a secondary [road](#) that connects the north/south primary [road](#) with East Belt in the west, and includes cycling facility. This optimises opportunities foreshadowed in the [District Council](#)'s Rangiora Town Centre Strategy, which anticipates an enhanced pedestrian/cycling connection between the centre's north-eastern 'Station Corner' precinct and the residential growth area through a possible additional crossing over the railway to connect to Keir Street. It also strengthens the close proximity between the North East Rangiora Development Area and the Rangiora town centre.

A secondary [road](#) connection into the North East Rangiora Development Area from the south is located west of Devlin Avenue, which extends into the South East Rangiora Development Area.

As well as cycleways at key roading corridors, the network of cycling [infrastructure](#) for the North East Rangiora Development Area includes cycleways along the two flow paths and references the wider cycling network beyond the Development Area.

Pedestrian footpaths will be provided on at least one side of each [road](#). The movement network plan should be read in conjunction with the green network plan which also provides informal cycling and walking corridors, such as along green links. The principle of walkability is incorporated through the use of a connected roading pattern, additional pedestrian links and the location of open spaces.

Open Space and [Stormwater Reserves](#)

The Outline Development Plan for the North East Rangiora Development Area indicates two open space reserves locations together with a network of [stormwater](#) management areas, identified and protected [overland flow paths](#), and green links throughout the [site](#).

The two open space reserves are located strategically in places that are highly prominent, easily accessed and have the ability to add to the character and identity of the development, as well as being within a 500m radius of all residential households in the Development Area. One open space reserve is shown in the northeast within the [site](#), and is connected by green links to the east and west of it. A second open space reserve is located near the centre of the [site](#). This reserve is located adjacent to a flow path, and lies within the medium density residential area, making this key amenity particularly [accessible](#) to a large number of residents. Some flexibility of the exact location of the open space reserves is possible, as long as they are [accessible](#) within a 500m radius of the respective north-eastern and south-western residential areas. To maximise functionality, accessibility and visibility, open space reserves must be bordered by at least one [road](#), and a second either [road](#) or public [accessway](#) such as a green link.

Any required open space reserve should be prioritised in the early stages of a new residential development, and subsequently when further expansion extends beyond the margins of radius and/or resident population guidelines.

There are two flow paths through the North East Rangiora Development Area that to the southeast form the Taranaki Stream (northern flow path) and the Cam [River](#) (southern flow path), together with springs partway along. Protection of the flow paths, their carrying capacity, and appropriate [setbacks](#) is critical in any development, in order to convey floodwater in a localised flooding event and/or Ashley [River](#) breakout. Springs, identified or discovered, need to be protected and the downstream channel separated from proposed [stormwater](#) management areas. [Waterbodies](#) must be protected intact, or improved, as part of any development and any potential adverse impacts on the local and receiving [waterbody](#) ecology must be mitigated. Where possible, amenity planting will be encouraged, together with enhancement of habitat heterogeneity and in-stream conditions to improve stream health, facilitate migrations and promote recruitment. It is possible that some springs could feed directly into whanau [mahinga kai](#) areas and engagement with [mana whenua](#) is important.

A green link sleeves both sides of the flow paths, to enable high amenity planting and community value through walking and cycling paths. Appropriate [waterbody setbacks](#) apply where required by the Natural Character and [Freshwater](#) Bodies Chapter of the [District Plan](#). Green links must be bordered by at least one [road frontage](#) (except in cases where they serve as a short connection strip) to provide appropriate access, visibility, amenity and safety for users. Where green links border both sides of a flow path, one [road frontage](#) between both sides is the minimum requirement.

The [site](#) is split into three [stormwater](#) catchments. For ecology reasons, it is a requirement to maintain flow quantities into waterways. [Stormwater](#) for the North East Rangiora Development Area discharges into the Taranaki Stream and Cam [River](#). An attenuation basin is shown in the downstream southeast area of the area north of the Taranaki Stream to service the catchment north of the Taranaki Stream. Another attenuation basin is shown downstream in the south-eastern area of the Development Area to service the catchment south of the Cam [River](#). The section of [land](#) between the two flow paths contributes runoff to the Taranaki Stream and Cam [River](#). The catchment [discharge](#) is piped under the waterways and into the basins for the larger catchments either side of the flow paths. Two smaller [stormwater](#) basins are shown in the south-eastern corner of the Development Area to service the smaller catchments of development of properties at the eastern edge of the [site](#) along Golf Links [Road](#). All [stormwater](#) basins for the North East Rangiora Development Area are assumed could be dry basins, allowed by well-draining [land](#). Alternative solutions for [stormwater](#) management could be proposed, provided the flow of [water](#) into the Taranaki Stream and Cam [River](#) are maintained and all future lots in the [stormwater](#) catchments can [discharge](#) into the appropriate basins.

[Stormwater](#) reserves provide attractive open space and visual relief in a built up residential [environment](#), and can present opportunities for residential development adjacent to them to look out onto it and benefit from their amenity. [Stormwater](#) management reserves can also have a passive recreational purpose for walking, cycling and playing. Streams, springs and waterways are protected and included in the [stormwater](#) reserves where relevant. All [stormwater](#) ponds are subject to design detailing, but will be managed by an appropriately designed [stormwater](#) treatment system with high [amenity values](#). The Outline Development Plan for the North East Rangiora Development Area provides an indicative size and location based on likely catchments around the key [infrastructure](#).

[Water and Wastewater Network](#)

The provision of reticulated [water supply](#) assumes a skeleton network for the North East Rangiora Development Area, where only [water](#) pipes 100mm in diameter and greater are specified. The exact location of the reticulation may change when [road](#) layouts are confirmed, noting that some identified [road](#) locations as specified under 'Movement Network' are fixed and others are flexible.

Reticulation upgrades proposed for Rangiora are both within Development Areas (East, North East and West) and within the existing network. Due to their location, all of the existing network upgrades can be attributed to the Development Areas. Source and headworks upgrades are not Development Area specific, rather they apply to the whole scheme.

A number of [water](#) network upgrades and constructions are required to service the Rangiora North East Development Area's three catchments. Reticulation requirements include upgrades to the existing network and extra over upgrades to development reticulation. These upgrades are required to maintain the existing levels of service to current and future customers. Requirements include new pipes and upgrades related to the East Belt Booster Main, East Rangiora Northern Link Main, North Northeast and Northeast Rangiora Supply Main, East Rangiora Northern Link Main, and Northbrook [Road](#) Booster Main.

Development in the Rangiora West, North East and East Development Areas also contribute to the requirement to upgrade a number of wider Rangiora sources and headworks, such as additional wells and associated pipework at Rangiora Source, new Surface Pumps and Generator at Ayers Street Headworks, new reservoirs at Ayers Street and South Belt, and a new Surface Pump at South Belt Headworks.

Three catchments make up the North East Rangiora Development Area for [wastewater](#) servicing requirements. Each catchment has an independent solution for [wastewater infrastructure](#) and only the key trunk [infrastructure](#) and pumpstations/rising mains are shown. The lay of the [land](#) is generally towards the south east, and developments reticulation would be installed with the lay of the [land](#). Mains will follow general alignment with the roading network. There is sufficient capacity in the existing network to service the catchment that forms roughly the western half of the North East Rangiora Development Area, which can be discharged into the existing pipeline along MacPhail Avenue. A small catchment at the southeast of the North East Rangiora Development Area can be discharged into the existing pipeline along Devlin Avenue, provided the pipeline is extended to Northbrook [Road](#). A third large catchment to the east of the Development Area requires a new pumpstation at the south-eastern point of the Development Area and pumped into a new rising main to Northbrook [Road](#), where it would join onto a rising main to the treatment plant.

Fixed Outline Development Plan Features for the North East Rangiora Development Area:

- Location of a concentration of medium density [residential activity](#) (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) in the southwest of the Outline Development Plan (Option A) or south of the Outline Development Plan (Option B) as well as immediately adjacent to the local/neighbourhood centre
- Location of roading connection of north/south [road](#) to MacPhail Avenue at Kippenberger Avenue

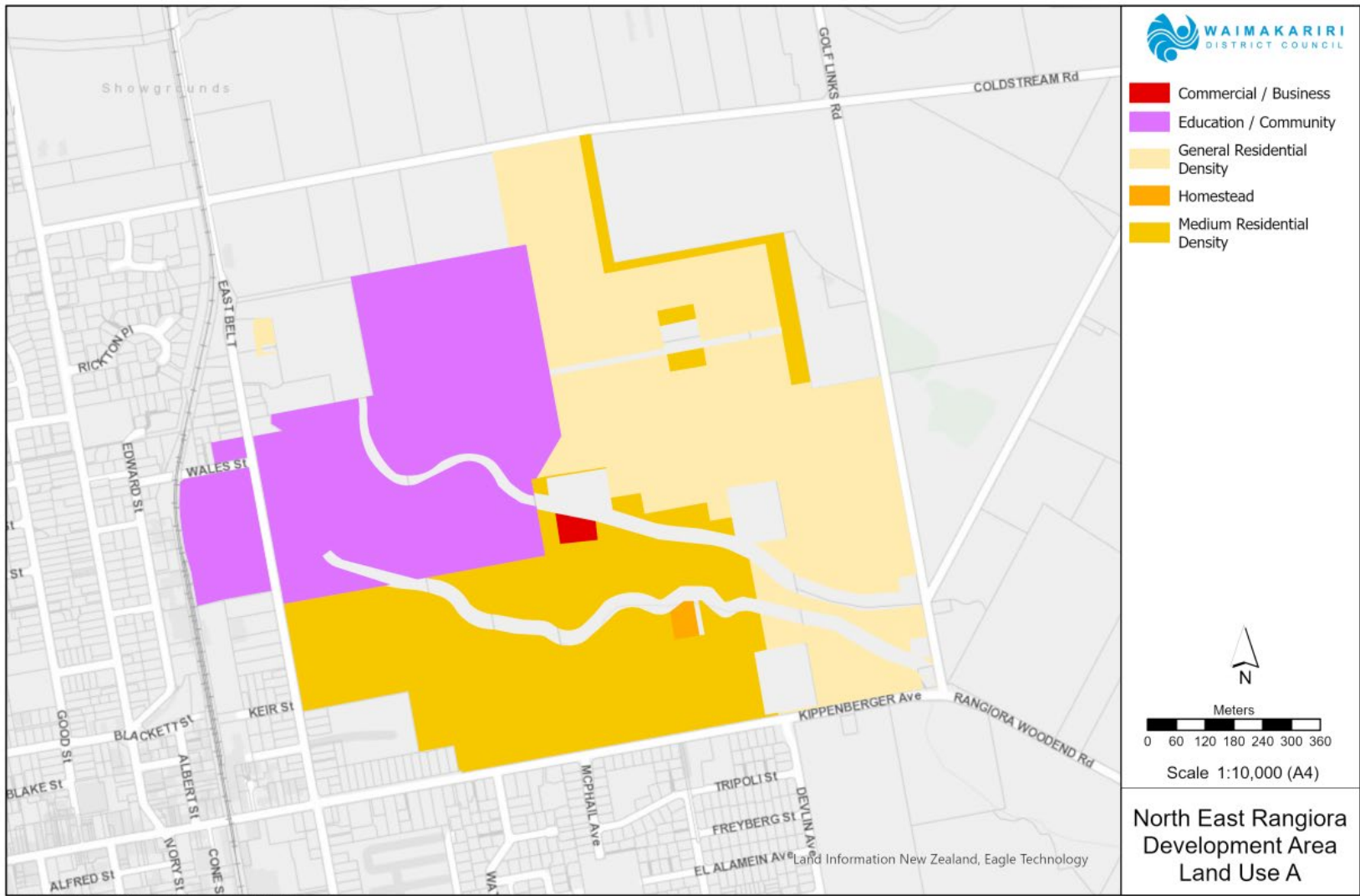
- A [road](#) to connect the new north/south [road](#) to East Belt
- A [road](#) to connect the new north/south [road](#) to Golf Links [Road](#)
- Location of flow paths and adjoining green links and cycleways, including any required [waterbody setbacks](#)
- Location of the local/neighbourhood centre at the north/south [road corridor](#), in proximity to a flow path
- Separated shared pedestrian / cycleway at the north/south [road corridor](#)

Option A - Rangiora North East Rangiora Outline Development Plan - Overall



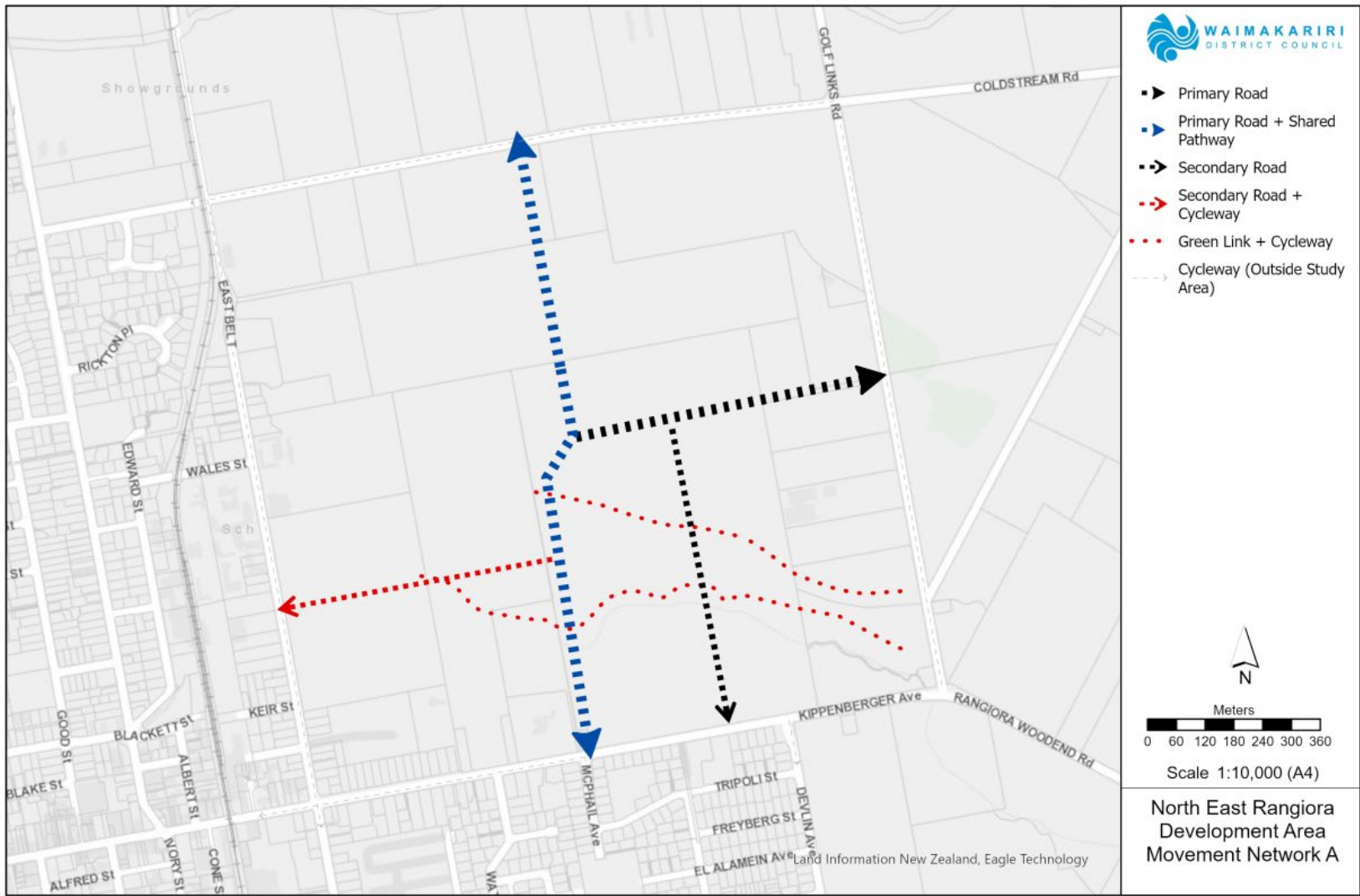
Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Option A - Rangiora North East Rangiora Outline Development Plan - [Land Use](#) Use



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Option A - Rangiora North East Rangiora Outline Development Plan - Movement Network

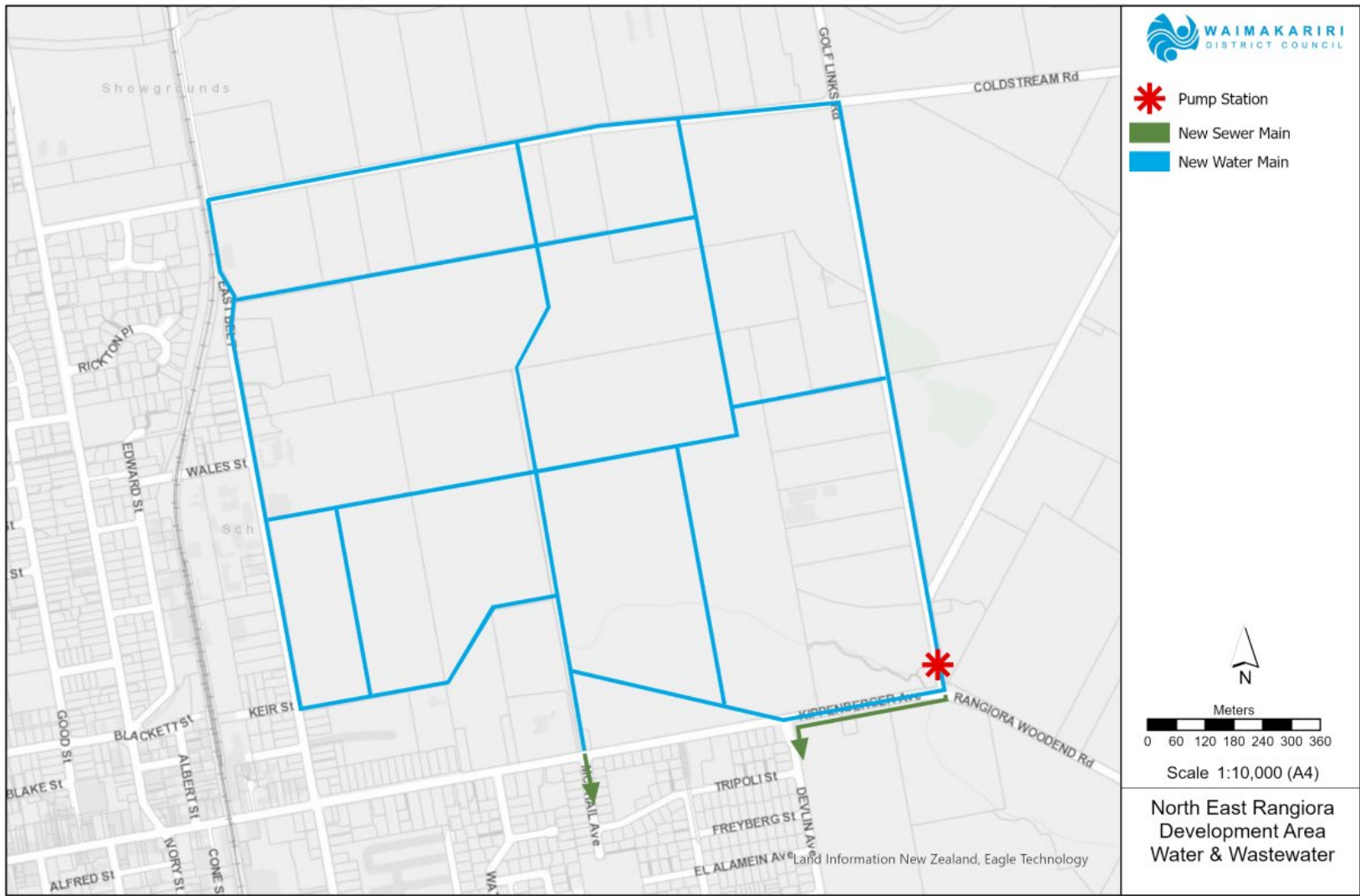


Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Option A - Rangiora North East Rangiora Outline Development Plan - Open Space and [Stormwater](#) Reserve

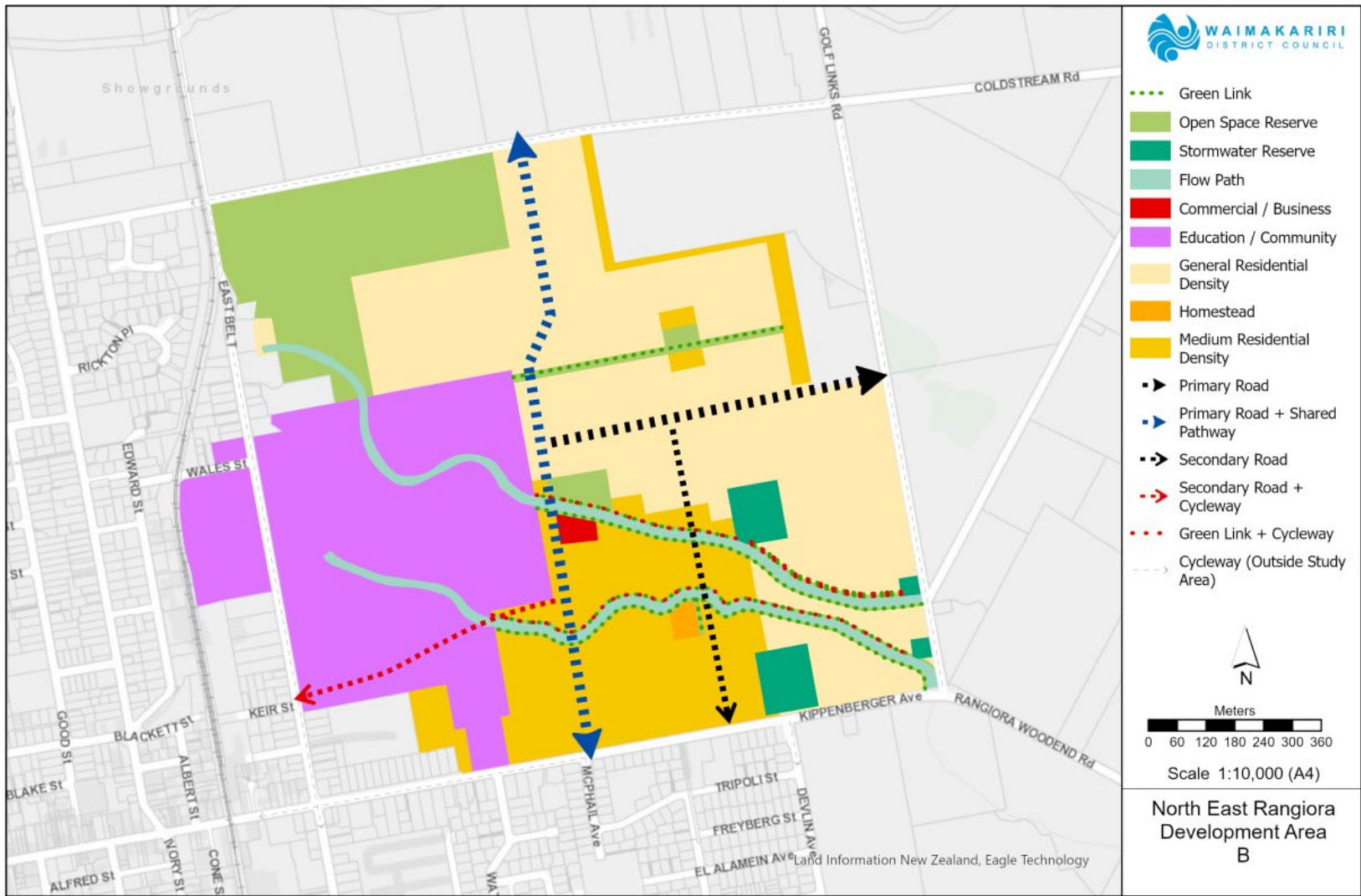


Option A - Rangiora North East Rangiora Outline Development Plan - [Water](#) and [Wastewater](#)

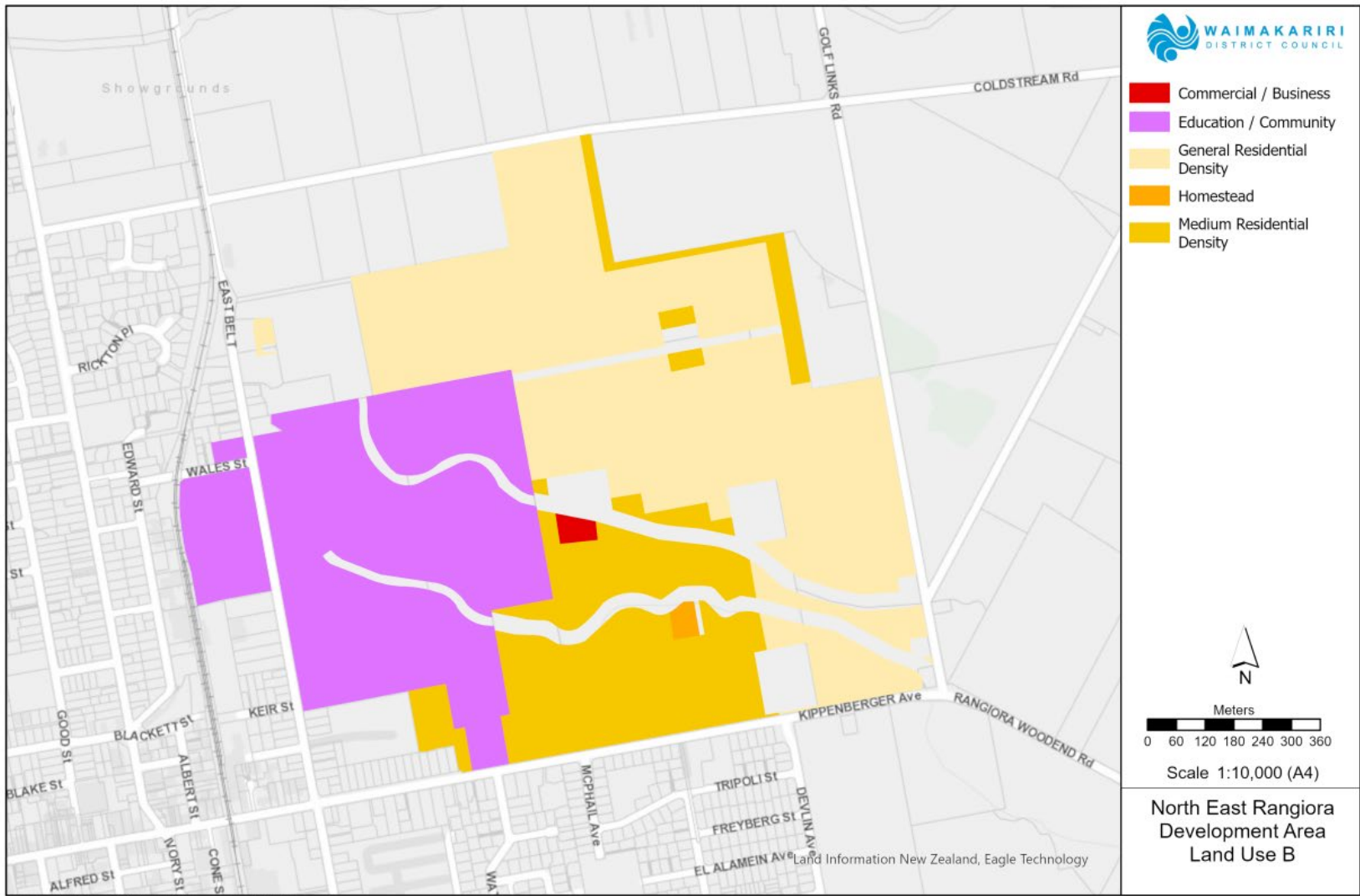


Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Option B - Rangiora North East Rangiora Outline Development Plan - Overall

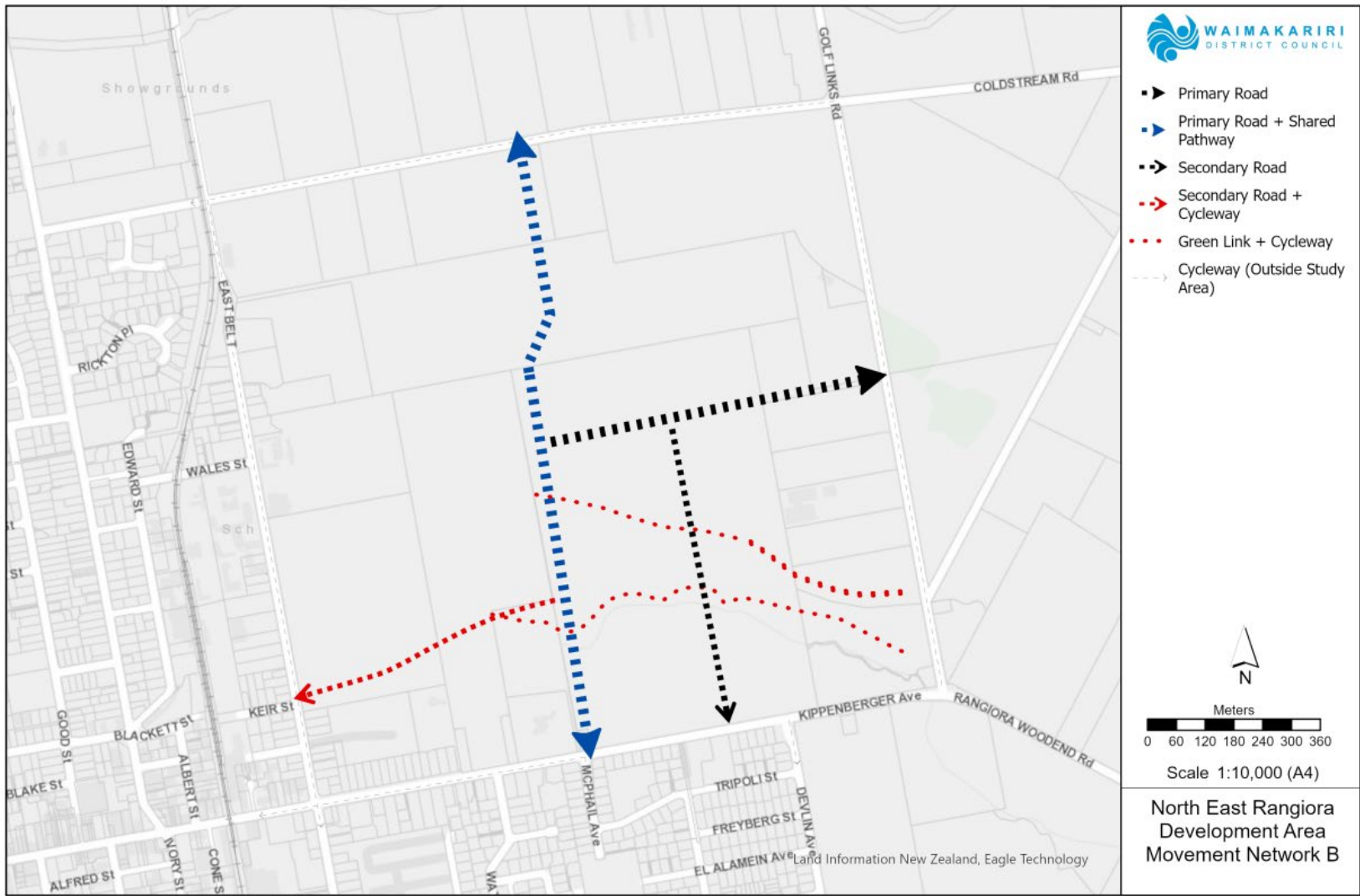


Option B - Rangiora North East Rangiora Outline Development Plan - [Land Use](#) Use



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Option B - Rangiora North East Rangiora Outline Development Plan - Movement Network

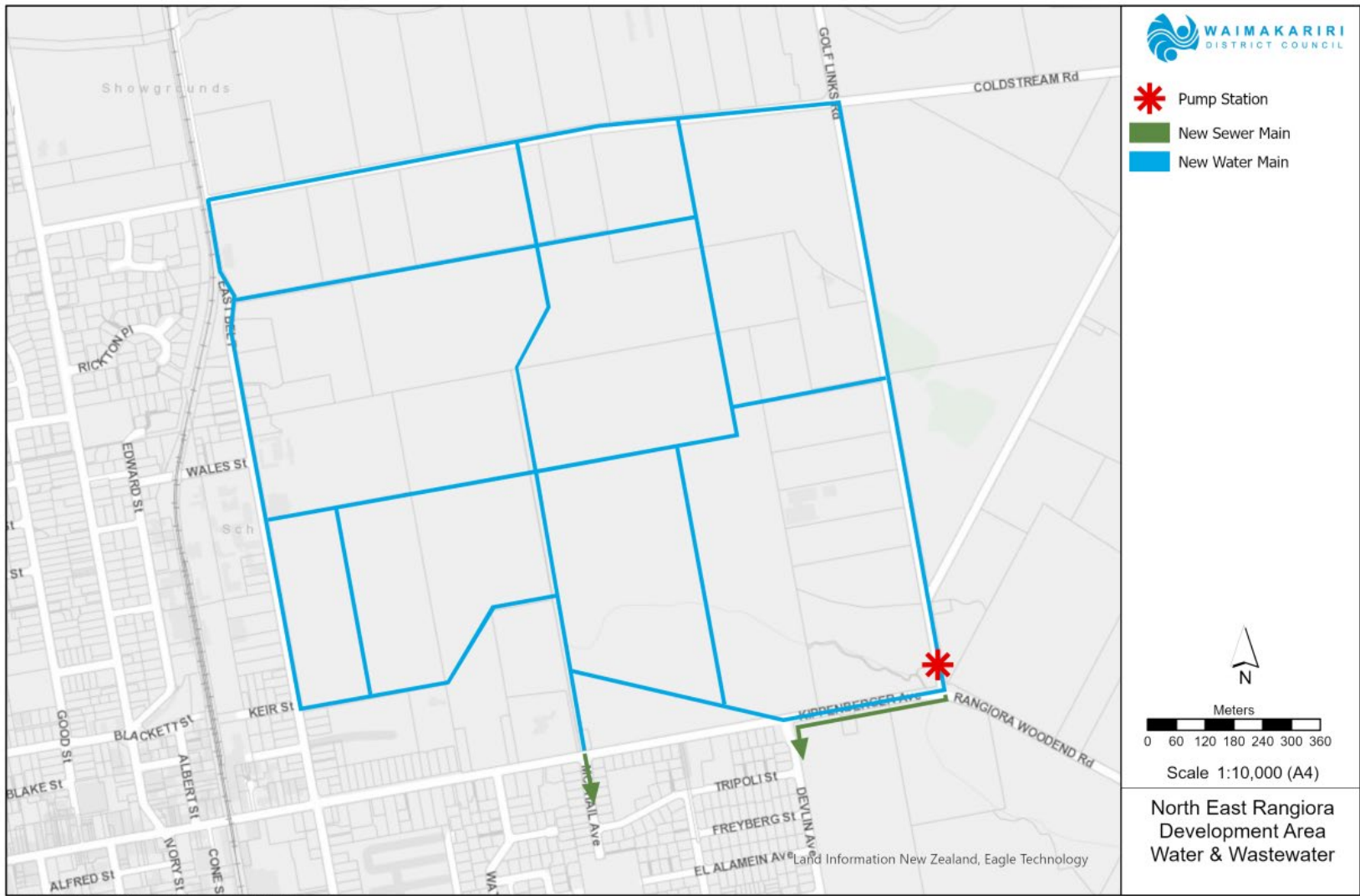


Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Option B - Rangiora North East Rangiora Outline Development Plan - Open Space and [Stormwater](#)



Option B - Rangiora North East Rangiora Outline Development Plan



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Amendments

Update ODPs based on approved Bellgrove subdivision consents (RC225416, RC215579)

South East Rangiora Development Area

Introduction

Future development areas will be required in order to respond to population growth. In response to this issue, the Strategic Directions and Urban Form and Development Chapters sets out objectives and policies for when and where urban expansion should take place and the mechanism to be used to provide for future urban development.

Four areas for development for Rangiora and Kaiapoi have been identified. Provisions are included which provide for their transition from an underlying Rural Lifestyle Zone to development in accordance with [DEV-SER-APP1](#) if and when they are required due to a demonstrated sufficiency shortage of [land](#) available in existing [residential zones](#). South East Rangiora has been identified as a Development Area.

Urban development within a Development Area is managed through a certification process, where [land](#) is released for development by the [District Council](#)'s Chief Executive Officer or their delegate, once identified criteria are met. The future urban development provisions for a Development Area is identified through the Development Area name on the Outline Development Plan. Once development of these areas has been completed, the [District Council](#) will remove the Development Area layer and rezone the area to the appropriate zones.

The provisions in this chapter are consistent with the matters in Part 2 - [District](#) Wide Matters - Strategic Directions and give [effect](#) to matters in Part 2 - [District](#) Wide Matters - Urban Form and Development.

Objectives	
DEV-SER-01	Development Area

	<p>- South East Rangiora Development Area contributes to achieving feasible development capacity for residential activities.</p>
<p>Policies</p>	
<p>DEV-SER-P1</p>	<p>Future urban development</p> <p>- Provide for future urban development in a Development Area (in accordance with DEV-SER-APP1-South East Rangiora Outline Development Plan through a certification process by the District Council's Chief Executive Officer or their delegate when:</p> <ol style="list-style-type: none"> 5. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in UFD-O1 (for the medium term); 6. water supply, wastewater and stormwater infrastructure capacity is sufficient to support the proposed development; and 7. an agreement is in place between the District Council and the developer on the method, timing and funding of any necessary water supply, wastewater and stormwater infrastructure, open space and transport infrastructure.
<p>DEV-SER-P2</p>	<p>Subdivision and activities</p> <p>- Only allow subdivision and activities where:</p> <ol style="list-style-type: none"> 3. after certification by the District Council's Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions; and

4. ~~prior to [certification](#) by the [District Council](#)'s Chief Executive Officer or their delegate, it will not undermine or inhibit the future development of the Development Area as per the South East Rangiora Outline Development Plan.~~

Activity Rules - if certification has been approved

~~DEV-SER-R1 Activities provided for in General Residential Zone~~

~~Activity status: PER~~

~~Where this activity complies with the following activity rules/standards in the General Residential Zone:~~

- ~~1. [GRZ-R1 to GRZ-R18](#); and~~
- ~~2. [all General Residential Zone Built Form Standards](#).~~

~~Activity status when compliance not achieved: see activity status for [GRZ-R1 to GRZ-R18](#)~~

~~Activity status: RDIS~~

~~Where this activity complies with the following activity rules/standards in the General Residential Zone:~~

- ~~3. [GRZ-R19 to GRZ-R21](#); and~~
- ~~4. [all General Residential Zone Built Form Standards](#).~~

~~Activity status when compliance not achieved: see activity status for [GRZ-R19 to GRZ-R21](#)~~

~~Activity status: DIS~~

~~Activity status when compliance not achieved: see activity status for [GRZ-R22 to GRZ-R28](#)~~

<p><u>Where this activity complies with the following activity rules/standards in the General Residential Zone:</u></p> <ol style="list-style-type: none"> 5. GRZ-R22 to GRZ-R28; and 6. all General Residential Zone Built Form Standards. 	
<p><u>Activity status: NC</u></p> <p><u>Where this activity complies with the following activity rules/standards in the General Residential Zone:</u></p> <ol style="list-style-type: none"> 7. GRZ-R29 to GRZ-R40; and 8. all General Residential Zone Built Form Standards. 	<p><u>Activity status when compliance not achieved: see activity status for GRZ-R29 to GRZ-R40</u></p>
<p><u>For any activity statuses, any activity will need to comply with the following general activity standards:</u></p> <ol style="list-style-type: none"> a. <u>The provisions of the General Residential Zone will apply to any part of the Development Area where the Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-SER-S1 are met; and</u> b. <u>The activity is in general accordance with the residential development requirements of DEV-SER-APP1.</u> 	

<p><u>DEV-SER-R21 Activities provided for in Medium Density Residential Zone</u></p>	
<p><u>Activity status: PER</u></p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:</p>	<p><u>Activity status when compliance not achieved: see activity status for MRZ-R1 to MRZ-R176</u></p>

<ol style="list-style-type: none"> 1. MRZ-R1 to MRZ-R176; and 2. all Medium Density Residential Zone Built Form Standards. 	
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:</p> <ol style="list-style-type: none"> 3. MRZ-R187 to MRZ-R2019 and 4. all Medium Density Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for MRZ-R187 to MRZ-R2019</p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <ol style="list-style-type: none"> 5. MRZ-R210 to MRZ-R287; and 6. all Medium Density Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for MRZ-R210 to MRZ-R287</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <ol style="list-style-type: none"> 7. MRZ-R298 to MRZ-R4039; and 8. all Medium Density Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for MRZ-R298 to MRZ-R4039</p>

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the Medium Density Residential Zone will apply to any part of the Development Area where the [District Council's](#) Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-SER-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-SER-APP1](#).

DEV-SER-R32 Activities provided for in Local Centre Zone

Activity status: PER

-
Where this activity complies with the following activity rules/standards in the Local Centre Zone:

- 1. [LCZ-R1 to LCZ-R20](#); and
- 2. all Local Centre Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [LCZ-R1 to LCZ-R20](#)

Activity status: RDIS

-
Where this activity complies with the following activity rules/standards in the Local Centre Zone:

- 3. [LCZ-R21 to LCZ-R24](#); and
- 4. all Local Centre Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [LCZ-R21 to LCZ-R24](#)

Activity status: DIS

-

Activity status when compliance not achieved: see activity status for [LCZ-R25](#)

<p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <p>5. LCZ-R25; and</p> <p>6. all Local Centre Zone Built Form Standards.</p>	
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <p>7. LCZ-R26 to LCZ-R27; and</p> <p>8. all Local Centre Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for LCZ-R26 to LCZ-R27</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Local Centre Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-SER-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-SER-APP1.</p>	
<p>DEV-SER-R43 Activities provided for in Open Space Zone</p>	
<p>Activity status: PER</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Open Space Zone:</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R1 to OSZ-R15</p>

<p>1. OSZ-R1 to OSZ-R15; and 2. all Open Space Zone Built Form Standards.</p>	
<p>Activity status: RDIS - Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>3. OSZ-R16; and 4. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R16</p>
<p>Activity status: DIS - Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>5. OSZ-R17 to OSZ-R18; and 6. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R17 to OSZ-R18</p>
<p>Activity status: NC - Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>7. OSZ-R19 to OSZ-R21; and 8. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R19 to OSZ-R21</p>

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the Open Space Zone will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-SER-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-SER-APP1](#).

DEV-SER-R54 [Subdivision](#) Activities in the Development Area if [certification](#) has been approved

Activity status: CON

Where this activity complies with the following activity rules/standards in [subdivision](#):

- 1. [SUB-R1 to SUB-R3](#); and
- 2. all [Subdivision Standards](#).

Activity status when compliance not achieved: see activity status for [SUB-R1 to SUB-R3](#)

Activity status: RDIS

Where this activity complies with the following activity rules/standards in [subdivision](#):

- 3. [SUB-R4 to SUB-R8](#); and
- 4. all [Subdivision Standards](#).

Activity status when compliance not achieved: see activity status for [SUB-R4 to SUB-R8](#)

Activity status: DIS

Activity status when compliance not achieved: see activity status for [SUB-R9](#)

Where this activity complies with the following activity rules/standards in [subdivision](#):

- 5. ~~SUB-R9~~; and
- 6. ~~all Subdivision Standards~~.

Activity status: NC

Where this activity complies with the following activity rules/standards in [subdivision](#):

- 7. ~~SUB-R10 to SUB-R11~~; and
- 8. ~~all Subdivision Standards~~.

Activity status when compliance not achieved: see activity status for [SUB-R10 to SUB-R11](#)

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the [Subdivision](#) Chapter will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-SER-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-SER-APP1](#).

Activity Rules – if certification has not been approved

DEV-SER-R65 Activities provided for in the Rural Lifestyle Zone

Activity status: PER

Activity status when compliance not achieved: see activity status for [RLZ-R1 to RLZ-R16](#)

<p>Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:</p> <ol style="list-style-type: none"> 1. RLZ-R1 to RLZR16; and 2. all Rural Lifestyle Zone Built Form Standards. 	
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:</p> <ol style="list-style-type: none"> 3. RLZ-R17 to RLZ-R23; and 4. all Rural Lifestyle Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for RLZ-R17 to RLZ-R23</p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:</p> <ol style="list-style-type: none"> 5. RLZ-R24 to RLZ-R38; and 6. all Rural Lifestyle Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for RLZ-R24 to RLZ-R38</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:</p> <ol style="list-style-type: none"> 7. RLZ-R39 to RLZ-R41; and 	<p>Activity status when compliance not achieved: see activity status for RLZ-R39 to RLZ-R41</p>

8. ~~all Rural Lifestyle Zone [Built Form Standards](#).~~

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. ~~The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-SER-S1](#) are met; and~~
- b. ~~The activity is in accordance with the residential development requirements of [DEV-SER-APP1](#).~~

~~DEV-SER-R76 [Subdivision](#) activities in the Rural Lifestyle Zone~~

~~Activity status: CON~~

~~-~~

~~Where this activity complies with the following activity rules/standards in [subdivision](#):~~

- ~~1. [SUB-R1 to SUB-R3](#); and~~
- ~~2. all [Subdivision Standards](#).~~

~~Activity status when compliance not achieved: see activity status for [SUB-R1 to SUB-R3](#)~~

~~Activity status: RDIS~~

~~-~~

~~Where this activity complies with the following activity rules/standards in [subdivision](#):~~

- ~~3. [SUB-R4 to SUB-R8](#); and~~
- ~~4. all [Subdivision Standards](#).~~

~~Activity status when compliance not achieved: see activity status for [SUB-R4 to SUB-R8](#)~~

Activity status: DIS

-
Where this activity complies with the following activity rules/standards in [subdivision](#):

- 5. ~~SUB-R9~~; and
- 6. all [Subdivision Standards](#).

Activity status when compliance not achieved: see activity status for [SUB-R9](#)

Activity status: NC

-
Where this activity complies with the following activity rules/standards in [subdivision](#):

- 7. ~~SUB-R10 to SUB-R11~~; and
- 8. all [Subdivision Standards](#).

Activity status when compliance not achieved: see activity status for [SUB-R10 to SUB-R11](#)

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the [Subdivision](#) chapter will apply to any part of the Development Area where the [District Council's](#) Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-SER-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-SER-APP1](#).

Development Areas Standards

DEV-SER-S1 Certification for South East Rangiora Development Area – Criteria

1. The following criteria must be demonstrated to be met for the [District Council](#)'s Chief Executive Officer or their delegate to certify to enable urban development ([subdivision](#) and [land](#) use activities) in the South East Rangiora Development Area:
 - a. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in [UFD-O1](#) (for the medium term) as indicated by the most recent analysis undertaken by Council in accordance with the [NPSUD](#) and published on the [District Council](#) website; and
 - b. residential development within the South East Rangiora Development Area will meet all the following criteria, demonstrated by modelling using accepted industry practice:
 - i. firefighting flows within the piped treated [water](#) network servicing 95% of the Development Area will meet the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice;
 - ii. on-demand [water](#) schemes will need to have capacity to deliver greater than 2500 litre connections per day at peak demand;
 - iii. [water](#) pressure within the piped treated [water](#) network servicing the Development Area is maintained at greater than 250kpa 100% of the time, and greater than 350kpa 95% of the time; and
 - iv. surcharge of pipes and flooding out of manholes will not occur during a design rainfall event (20% [AEP](#)) within the [stormwater](#) network

Activity status where compliance is not achieved: N/A

necessary for the servicing of potential development that is being released;

- c. a geotechnical assessment and flood assessment for the area has been prepared for this area and any identified risks contained within the assessments can be mitigated as part of [subdivision](#) design and consent;
 - d. there is sufficient capacity available within the Rangiora [Wastewater](#) Treatment Plant for this development;
 - e. a [stormwater](#) assessment has been developed for this area and any recommendation contained within the assessment is agreed by Council;
 - f. a transport [effects](#) assessment has been developed for this area and any recommendations contained within the assessment can be mitigated as part of [subdivision](#) design and consent;
 - g. a staging plan including:
 - i. the amount of new residential [sites](#) created in the development subject to the application for certification;
 - ii. number of stages for the development;
 - iii. how many [sites](#) will be created per stage;
 - h. an agreement between the [District Council](#) and the developer on the method, timing and funding of any necessary [infrastructure](#) and open space requirements is in place.
2. If a s224 certificate under the RMA has not been granted by the [District Council](#) within three years of the date of certification, certification shall cease to apply.

Advice Notes

DEV-SER-AN1	Development areas may be certified in whole or in part, and where more areas are requested to be released than can meet the criteria of the certification process, they will be released in accordance with the staging plan.
DEV-SER-AN2	For certification to be achieved, the District Council must receive information to demonstrate that the criteria in DEV-SER-S1 are met.
DEV-SER-AN3	<p>The analysis required by criteria (1) of the certification process will be completed and published on the District Council website as follows:</p> <ol style="list-style-type: none">1. Residential capacity will be calculated at least annually.2. Residential demand will be calculated at least every three years in line with Statistics New Zealand subnational projections or Waimakariri Growth Model.3. Water and wastewater capacity in Rangiora will be calculated at least annually.
DEV-SER-AN4	Where certification of land in a Development Area depends upon additional or upgraded public infrastructure , the applicant may be required to enter into a Private Development Agreement with the District Council . This will normally be required where the District Council 's Development Contributions Policy does not clearly set out the specific contribution towards the costs of the additional or upgraded public infrastructure required. The Private Development Agreement will normally include a lease clause and be registered against the Computer Register (Certificate of Title) for the land , to ensure that the developer meets their agreed obligations.
DEV-SER-AN5	Guidance on the certification process is available on the District Council 's website.

Appendix

DEV-SER-APP1 - South East Rangiora Outline Development Plan

Land Use Plan

The Outline Development Plan for the South East Rangiora Development Area enables the option for some variety of [site](#) sizes. Some medium density [residential activity](#) could be developed at key locations adjacent to natural flow paths or [stormwater](#) reserves, in order to take advantage of opportunities to overlook such high amenity facilities and offsetting limited private outdoor space feasible in higher density residential development. However this component of the Outline Development Plan is flexible and optional and will likely be dictated by development feasibility and market demand in these locations. The Medium Density Residential Zone enables a minimum lot size of 200m² while the General Residential Zone enables a minimum lot size of 500m². Overall, the South East Rangiora Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved²¹

A small optional neighbourhood/local centre, shown in the Outline Development Plan as commercial/business, is located at the juncture of Northbrook [Road](#) and Spark Lane. The latter will form part of the future north/south primary [road](#) connection that extends northward through the South East Rangiora Development Area and southward to connect to Lineside [Road](#). Locating the neighbourhood/local centre at this strategic location offers a high degree of visibility which has positive flow-on [effects](#) on neighbourhood businesses' sustainability.

The [land](#) in the South East Rangiora Development Area north of an extension of Cassino Street is likely more suitable for urban development than the [land](#) south of it, due to the presence of artesian [water](#) south of this location, together with modelled [effects](#) of a 200 year localised flooding event. [Groundwater](#) south of a Cassino Street extension is artesian and close to the surface, which will likely result in more challenging construction of [infrastructure](#).

Rangiora New Life School and Southbrook School are located south of Boys [Road](#). It is subject to Ministry of Education consideration whether an additional primary school is required in the South East Rangiora Development Area in the future to service its catchment. It could be feasible that [preschool](#)(s) are established in the Development Area. The South East Rangiora Development Area also contains the Northbrook Museum and Rossburn Receptions, a community asset, at Spark Lane.

Development within the Rangiora South East Development Area is to be contiguous; the Outline Development Plan does not anticipate physically separated or ad-hoc development.

Movement Network

²¹ WDC [367.12]

The Outline Development Plan for the South East Rangiora Development Area provides access to this growth area through a network of primary and secondary [roads](#) that ensure development integration, efficient traffic management and public transport corridors. Only these more significant [roads](#) are identified in the movement network plan. The layout of additional tertiary [roads](#) to service the residential areas will respond to detailed [subdivision](#) design of those areas. The specific roading classification of all [roads](#) will be ultimately determined at the time of development, to provide flexibility and match the eventual roading classification system made operative through the [District Plan](#). Primary and secondary [roads](#) for the South East Rangiora Development Area are located to ensure that all existing parcels of [land](#), when developed, can be served by the roading network.

A key movement network feature for the South East Rangiora Development Area is an extension of Devlin Avenue at the western boundary of the area connecting to Boys [Road](#), with a green link incorporating a cycling path adjoining the length of it. A new north/south primary [road](#) connection off Kippenberger Avenue curves to connect to the existing Northbrook [Road](#) portion that runs in a south-eastern direction. This is coupled with also extending the existing Northbrook [Road](#) at the south of the existing developed and zoned [land](#) and intersecting it through the Devlin Avenue extension to meet the new north/south connection. Feedback provided by local property owners is that the existing bend at Northbrook [Road](#) causes dangerous driving conditions, and it is proposed that a small section of Northbrook [Road](#) at this location is stopped to allow the new [road](#) alignment. A cycleway will also be provided along Northbrook [Road](#), which links into the wider cycling network within and outside of the Development Area.

The Outline Development Plan for the South East Rangiora Development Area also identifies the existing MacPhail Avenue and its extension along Spark Lane and to Boys [Road](#) as the main north/south primary [road](#) which forms part of a wider future key Rangiora eastern north/south [road](#) connection that will ultimately extend to meet Lineside [Road](#) in the south and meets Coldstream [Road](#) in the north through the South East Rangiora Development Area. This primary [road](#) will be adjoined by a green link with a cycleway and be suitable for public transport. Its design will promote reduced vehicle speeds and increased safety to other street users. The installation of appropriate intersections with Northbrook [Road](#) and Boys [Road](#) will be required.

East/west movement patterns through a number of secondary [roads](#) provide [subdivision structure](#) and connectivity, and are integrated with existing roading linkages west of the Development Area. Secondary [roads](#) generally assume a form which is of a more residential nature and cater less to through vehicle traffic.

As well as cycleways at key roading corridors, the network of cycling [infrastructure](#) for the South East Rangiora Development Area includes cycleways along the two key southern flow paths and references the wider cycling network beyond the Development Area.

Pedestrian footpaths will be provided on at least one side of each [road](#). The movement network plan should be read in conjunction with the green network plan which also provides key informal cycling and walking corridors, such as along green links. The principle of walkability is incorporated through the use of a connected roading pattern, additional pedestrian links and the location of open spaces.

Open Space and [Stormwater](#) Reserves

The Outline Development Plan for the South East Rangiora Development Area shows three open space reserve locations together with a network of [stormwater](#) management areas and green corridors throughout the [site](#).

The open space reserves are located strategically in places that are highly prominent, easily accessed and have the ability to add to the character and identity of the development, as well as being within a 500m radius of all residential households in the Development Area. One open space reserve is located east of the new north/south primary [road](#) connection off Kippenberger Avenue, and north of a Galatos Street extension, and is connected by green links. Flexibility of the exact location of the reserve is possible, as long as it is [accessible](#) within a 500m radius to the north-eastern residential areas in the South East Rangiora Development Area. A second open space reserve is located in the south of the [site](#), east of the Northbrook Stream flow path, and the same philosophy of flexibility in exact location applies. A third optional smaller open space reserve is located further south, east of the Northbrook Waters, adjacent to the extended Spark Lane which will form part of the main north/south primary [road](#). This reserve is proposed in this location to maximise access to, and enjoyment of, the Northbrook Waters reserve which provides community amenity through attractive [landscaping](#) and walking/cycling paths. To maximise functionality, accessibility and visibility, open space reserves must be bordered by at least one [local road](#), and a second either [local road](#) or public [accessway](#) such as a green link.

Any required open space reserve should be prioritised in the early stages of a new residential development, and subsequently when further expansion extends beyond the margins of radius and/or resident population guidelines.

A network of green links is anticipated throughout the Development Area, including alongside flow paths and connecting key amenity features such as open space and [stormwater](#) reserves. Green links provide safe and attractive active mode corridors and play opportunities, can have a role in [stormwater](#) management, and offer visual relief from otherwise built up residential areas. Green links must be bordered by at least one [road frontage](#) (except in cases where they serve as a short connection strip) to provide appropriate access, visibility, amenity and safety for users. Where green links border both sides of a flow path, one [road frontage](#) between both sides is the minimum requirement.

There are three flow paths in the South East Rangiora Development Area. Streams, springs and waterways are protected and included in the [stormwater](#) reserves where present. Appropriate [waterbody setbacks](#) apply where required by the Natural Character of [Freshwater](#) Bodies Chapter of the [District Plan. Waterbodies](#) must be protected intact, or improved, as part of any development and any potential adverse impacts on the local and receiving [waterbody](#) ecology must be mitigated. Where possible, amenity planting will be encouraged together with enhancement of habitat heterogeneity and in-stream conditions to improve stream health, facilitate migrations and promote recruitment. Efforts must be made to ensure any adverse impacts on kēkēwai (waikoura-[freshwater](#) crayfish), which are present in the culturally significant [mahinga kai](#) area of the Northbrook Stream (the flow path linking Northbrook [Road](#) and Boys [Road](#) in the Rangiora South East Development Area), are avoided.

A network of [stormwater](#) reserves are identified for the South East Rangiora Development Area to respond to five [stormwater](#) catchments: just north of Northbrook [Road](#) at the eastern edge of the Development Area, north of Boys [Road](#) at the south-eastern point of the Development Area, and a small [stormwater](#) reserve north of Boys [Road](#) south Northbrook Waters, with proposed attenuation basins. The ground in this area is known to have relatively high [groundwater](#) and therefore it is assumed that these would all be wet basins.

[Stormwater](#) reserves provide attractive open space and visual relief in a built up residential [environment](#), and the location of them provide opportunities for adjacent higher density residential areas to look out onto them and benefit from their amenity. [Stormwater](#) will be managed by an appropriately designed [stormwater](#) treatment system with high [amenity values](#). The South East Rangiora Development Area's [stormwater](#) catchment discharges to the North Brook. All [stormwater](#) ponds are subject to design detailing. The Outline Development Plan for the South East Rangiora Development Area provides an indicative size and location based on likely catchments around the key [infrastructure](#).

[Water and Wastewater Network](#)

The provision of reticulated [water supply](#) assumes a skeleton network for the South East Rangiora Development Area, where only [water](#) pipes 100mm in diameter and greater are specified. The exact location of the reticulation may change when [road](#) layouts are confirmed, noting that some identified [road](#) locations as specified under 'Movement Network' are fixed and others are flexible.

Reticulation upgrades proposed for Rangiora are both within Development Areas (East, North East and West) and within the existing network. Due to their location, all of the existing network upgrades can be attributed to the Development Areas. Source and headworks upgrades are not Development Area specific, rather they apply to the whole scheme.

A number of [water](#) network upgrades and constructions are required to service the South East Rangiora Development Area's four catchments. Reticulation requirements include upgrades to the existing network and extra over upgrades to development reticulation. These upgrades are required to maintain the existing levels of service to current and future customers. Requirements include new mains related to South Belt Booster Main and Boys [Road](#) Booster Main.

Development in the Rangiora West, North East and South East Development Areas also contribute to the requirement to upgrade a number of wider Rangiora sources and headworks, such as additional wells and associated pipework at Rangiora Source, new Surface Pumps and Generator at Ayers Street Headworks, new reservoirs at Ayers Street and South Belt, and a new Surface Pump at South Belt Headworks.

Four catchments make up the South East Rangiora Development Area for [wastewater](#) servicing requirements. Each catchment has an independent solution for [wastewater infrastructure](#) and only the key trunk [infrastructure](#) and pumpstations/rising mains are shown. The lay of the [land](#) is generally towards the south east, and developments reticulation would be installed with the lay of the [land](#). Mains will follow general alignment with the roading network.

The catchment directly east of Devlin Avenue and north of Northbrook [Road](#) requires a new pumpstation at the eastern point of the South East Rangiora Development Area at Northbrook [Road](#) and pumping into a new rising main to join onto a shared rising main for the north-eastern catchment (in the Rangiora North East Development Area) to the Rangiora [Wastewater](#) Treatment Plant. A second catchment south of Northbrook [Road](#), east of the North Brook Stream discharges into a new proposed booster pumpstation at eastern Boys [Road](#), which discharges into a fourth pumpstation at Boys [Road](#)/Spark Lane extension via a new rising main. Finally, two smaller catchments west of the North Brook Stream [discharge](#) directly into the fourth proposed pumpstation.

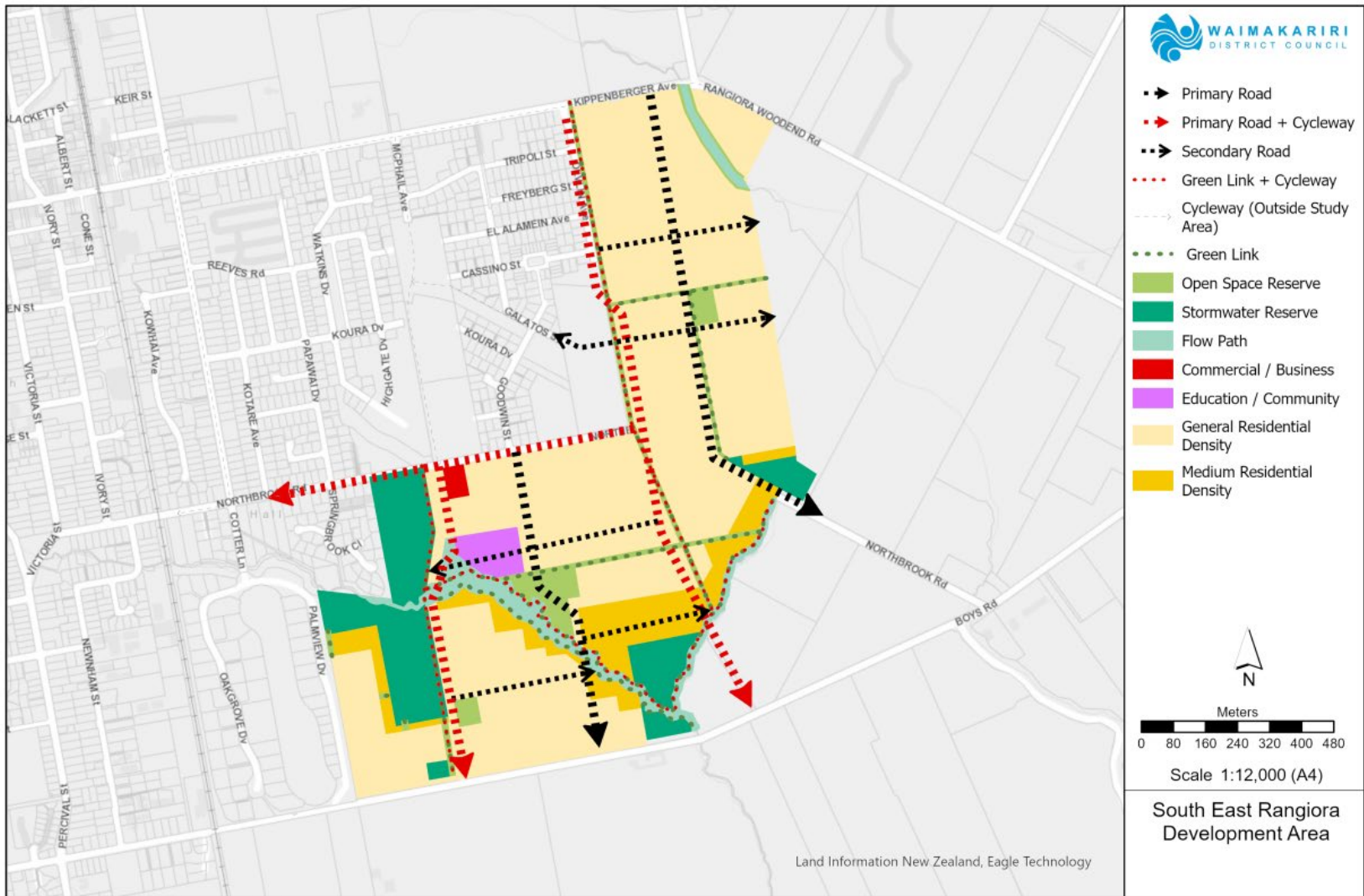
It should be noted that artesian [water](#) is located roughly south of an extension of Cassino Street in the remainder of the South East Rangiora Development Area, east of Devlin Avenue, and [groundwater](#) is close to the surface. This likely makes construction of [infrastructure](#) challenging and will likely carry higher than typical costs, particularly when developing large catchment areas. A pressure system may need to be considered for the South East Rangiora Development Area's catchments if gravity reticulation cannot be kept shallow enough. Such considerations will inform development feasibility.

Fixed Outline Development Plan Features for the South East Rangiora Development Area:

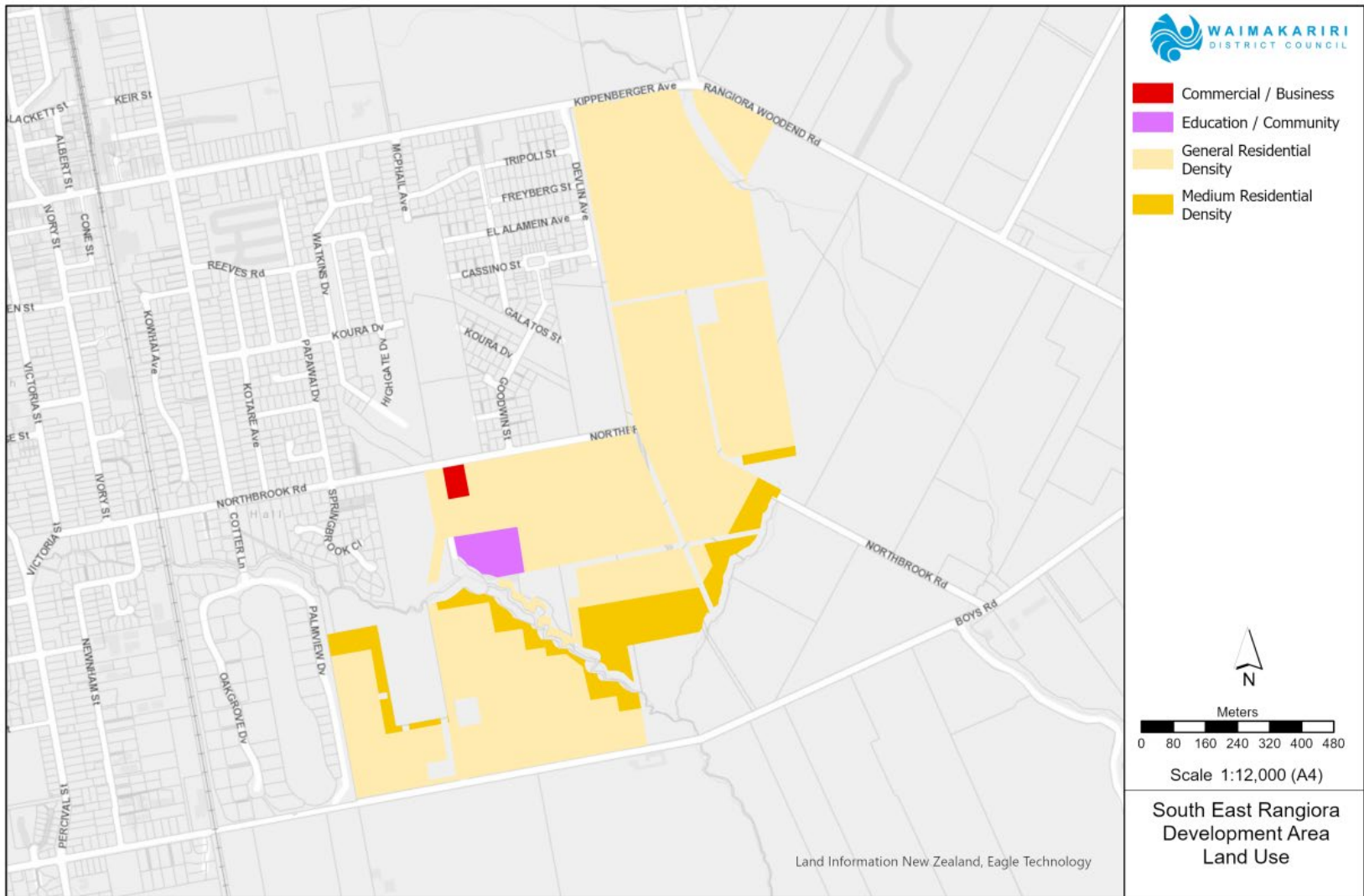
- Extension of Devlin Avenue with an adjoining green link containing a cycleway

- Extension of Spark Lane to connect to Boys [Road](#) with adjoining green link containing a cycleway
- Location of new north/south [road](#) connecting Kippenberger Avenue with Northbrook [Road](#)
- Realignment of Northbrook [Road](#) to cross Devlin Avenue extension and connect to the new north/south [road](#) east of Devlin Avenue
- Cycleways at Northbrook [Road](#), Devlin Avenue, and Spark Lane
- Location of flow paths and adjoining green links, cycleways, and required [water body setbacks](#)

Rangiora South East Outline Development Plan - Overall

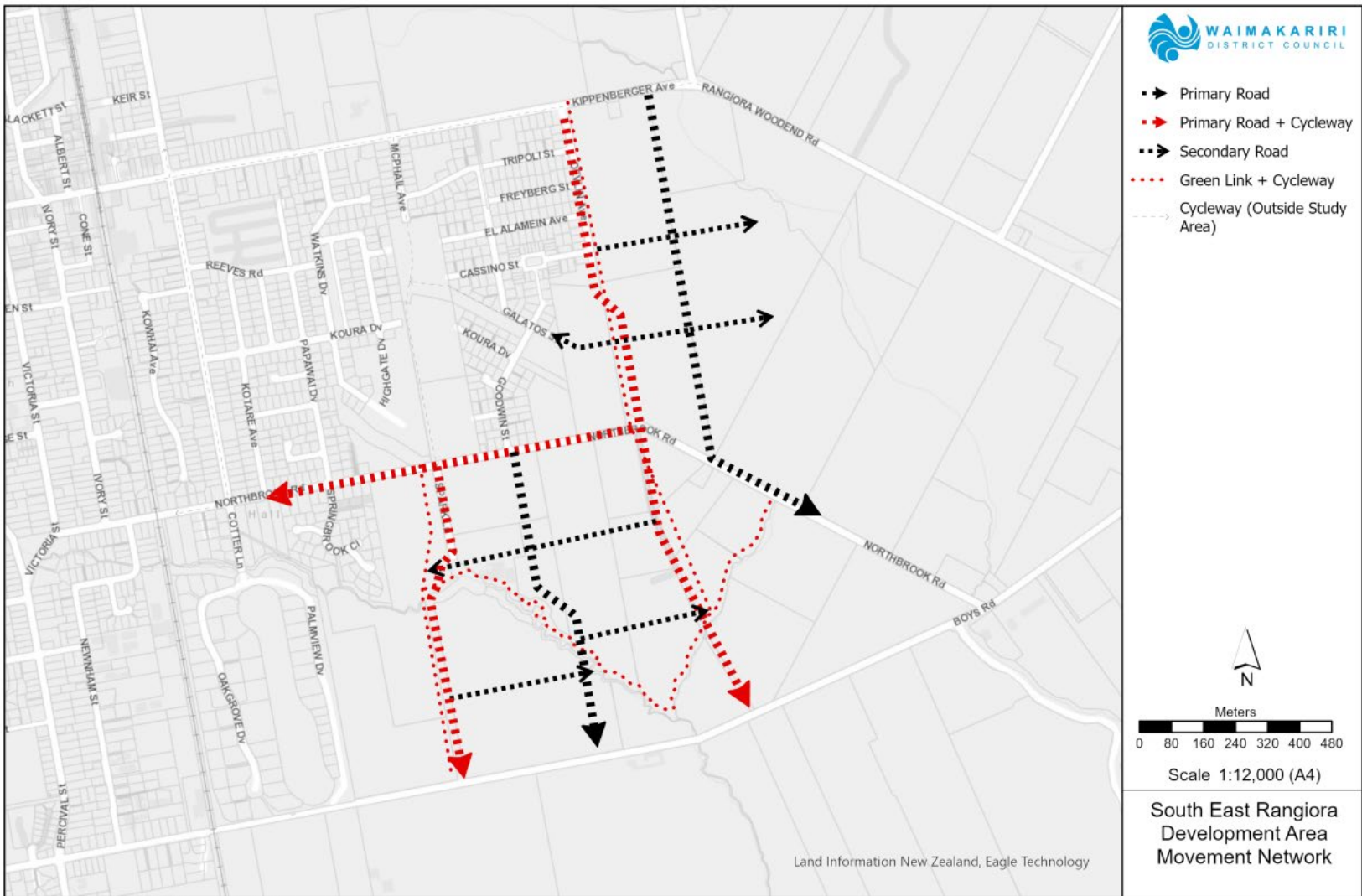


Rangiora South East Outline Development Plan - [Land Use](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora South East Outline Development Plan - Movement Network



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora South East Outline Development Plan - Open Space and [Stormwater](#) Reserves



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Rangiora South East Outline Development Plan - [Water](#) and [Wastewater](#)



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

K - Kaiapoi Development Area

Introduction

Future development areas will be required in order to respond to population growth. In response to this issue, the Strategic Directions and Urban Form and Development Chapters sets out objectives and policies for when and where urban expansion should take place and the mechanism to be used to provide for future urban development.

Four areas for development for Rangiora and Kaiapoi have been identified. Provisions are included which provide for their transition from an underlying Rural Lifestyle Zone to development in accordance with [DEV-K-APP1](#) if and when they are required due to a demonstrated sufficiency shortage of [land](#) available in existing [residential zones](#). Kaiapoi has been identified as a Development Area.

Urban development within a Development Area is managed through a certification process, where [land](#) is released for development by the [District Council](#)'s Chief Executive Officer or their delegate, once identified criteria are met. The future urban development provisions for a Development Area is identified through the Development Area name on the Outline Development Plan. Once development of these areas has been completed, the [District Council](#) will remove the Development Area layer and rezone the area to the appropriate zones.

The provisions in this chapter are consistent with the matters in Part 2 - [District](#) Wide Matters - Strategic Directions and give [effect](#) to matters in Part 2 - [District](#) Wide Matters - Urban Form and Development.

Objectives	
DEV-K-O1	Development area - Kaiapoi Development Area contributes to achieving feasible development capacity for residential activities .
Policies	
DEV-K-P1	Future urban development -

Provide for future urban development in a Development Area (in accordance with [DEV-K-APP1](#) – Kaiapoi Outline Development Plan) through a certification process by the [District Council](#)'s Chief Executive Officer or their delegate when:

1. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in [UFD-O1](#) (for the medium term);
2. [water supply, wastewater](#) and [stormwater infrastructure](#) capacity is sufficient to support the proposed development; and
3. an agreement is in place between the [District Council](#) and the developer on the method, timing and funding of any necessary [water supply, wastewater](#) and [stormwater infrastructure](#), open space and transportation [infrastructure](#).

DEV-K-P2

Subdivision and activities

-
Only allow [subdivision](#) and activities where:

1. after [certification](#) by the [District Council](#)'s Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the **General Medium Density** Residential Zone, Local Centre Zone and the relevant [District](#) wide provisions; and
2. prior to [certification](#) by the [District Council](#)'s Chief Executive Officer or their delegate, it will not undermine or inhibit the future development of the Development Area as per the Kaiapoi Outline Development Plan.

Activity Rules – if certification has been approved

DEV-K-R1 Activities provided for in General Residential Zone

<p>Activity status: PER</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <ol style="list-style-type: none"> 1. GRZ-R1 to GRZ-R18; and 2. all General Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for GRZ-R1 to GRZ-R18</p>
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <ol style="list-style-type: none"> 3. GRZ-R19 to GRZ-R21; and 4. all General Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for GRZ-R19 to GRZ-R21</p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <ol style="list-style-type: none"> 5. GRZ-R22 to GRZ-R28; and 6. all General Residential Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for GRZ-R22 to GRZ-R28</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p>	<p>Activity status when compliance not achieved: see activity status for GRZ-R29 to GRZ-R40</p>

- 7. ~~GRZ-R29 to GRZ-R40~~; and
- 8. ~~all General Residential Zone [Built Form Standards](#).~~

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the [General Residential Zone](#) will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-K-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-K-APP1](#).

DEV-K-R2 Activities provided for in Medium Density Residential Zone

Activity status: ~~PER~~

~~Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:~~

- 1. ~~MRZ-R1 to MRZ-R176~~; and
- 2. ~~all Medium Density Residential Zone [Built Form Standards](#).~~

Activity status when compliance not achieved: see activity status for [MRZ-R1 to MRZ-R176](#)

Activity status: ~~RDIS~~

~~Where this activity complies with the following activity rules/standards in the Medium Density Residential Zone:~~

- 3. ~~MRZ-R187 to MRZ-R2019~~; and

Activity status when compliance not achieved: see activity status for [MRZ-R187 to MRZ-R2019](#)

<p>4. all Medium Density Residential Zone Built Form Standards.</p>	
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>5. MRZ-R210 to MRZ-R287; and</p> <p>6. all Medium Density Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for MRZ-R210 to MRZ-R287</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the General Residential Zone:</p> <p>7. MRZ-R298 to MRZ-R4039; and</p> <p>8. all Medium Density Residential Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for MRZ-R298 to MRZ-R4039</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Medium Density Residential Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-K-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-K-APP1.</p>	
<p>DEV-K-R3 Activities provided for in Local Centre Zone</p>	

<p>Activity status: PER</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <ol style="list-style-type: none"> 1. LCZ-R1 to LCZ-R20; and 2. all Local Centre Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for LCZ-R1 to LCZ-R20</p>
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <ol style="list-style-type: none"> 3. LCZ-R21 to LCZ-R24; and 4. all Local Centre Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for LCZ-R21 to LCZ-R24</p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p> <ol style="list-style-type: none"> 5. LCZ-R25; and 6. all Local Centre Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for LCZ-R25</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Local Centre Zone:</p>	<p>Activity status when compliance not achieved: see activity status for LCZ-R26 to LCZ-R27</p>

- 7. [LCZ-R26 to LCZ-R27](#); and
- 8. all Local Centre Zone [Built Form Standards](#).

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the Local Centre Zone will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-K-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-K-APP1](#).

DEV-K-R4 Activities provided for in Open Space Zone

Activity status: PER

-

Where this activity complies with the following activity rules/standards in the Open Space Zone:

- 1. [OSZ-R1 to OSZ-R15](#); and
- 2. all Open Space Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [OSZ-R1 to OSZ-R15](#)

Activity status: RDIS

-

Where this activity complies with the following activity rules/standards in the Open Space Zone:

- 3. [OSZ-R16](#); and
- 4. all Open Space Zone [Built Form Standards](#).

Activity status when compliance not achieved: see activity status for [OSZ-R16](#)

<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>5. OSZ-R17 to OSZ-R18; and</p> <p>6. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R17 to OSZ-R18</p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Open Space Zone:</p> <p>7. OSZ-R19 to OSZ-R21; and</p> <p>8. all Open Space Zone Built Form Standards.</p>	<p>Activity status when compliance not achieved: see activity status for OSZ-R19 to OSZ-R21</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p> <p>a. The provisions of the Open Space Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in DEV-K-S1 are met; and</p> <p>b. The activity is in accordance with the residential development requirements of DEV-K-APP1.</p>	
<p>DEV-K-R5 Subdivision Activities in the Development Area if certification has been approved</p>	
<p>Activity status: CON</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in subdivision:</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R1 to SUB-R3</p>

<ol style="list-style-type: none"> 1. SUB-R1 to SUB-R3; and 2. all Subdivision Standards. 	
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in <u>subdivision</u>:</p> <ol style="list-style-type: none"> 3. SUB-R4 to SUB-R8; and 4. all Subdivision Standards. 	<p>Activity status when compliance not achieved: see activity status for <u>SUB-R4 to SUB-R8</u></p>
<p>Activity status: DIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in <u>subdivision</u>:</p> <ol style="list-style-type: none"> 5. SUB-R9; and 6. all Subdivision Standards. 	<p>Activity status when compliance not achieved: see activity status for <u>SUB-R9</u></p>
<p>Activity status: NC</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in <u>subdivision</u>:</p> <ol style="list-style-type: none"> 7. SUB-R9 to SUB-R11; and 8. all Subdivision Standards. 	<p>Activity status when compliance not achieved: see activity status for <u>SUB-R9 to SUB-R11</u></p>

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the [Subdivision](#) Chapter will apply to any part of the Development Area where the [District Council](#)'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-K-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-K-APP1](#).

Activity Rules – if certification has not been approved

DEV-K-R6 Activities provided for in the Rural Lifestyle Zone

<p>Activity status: PER</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:</p> <ul style="list-style-type: none"> 1. RLZ-R1 to RLZ-R16; and 2. all Rural Lifestyle Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for RLZ-R1 to RLZ-R16</p>
<p>Activity status: RDIS</p> <p>-</p> <p>Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:</p> <ul style="list-style-type: none"> 3. RLZ-R17 to RLZ-R23; and 4. all Rural Lifestyle Zone Built Form Standards. 	<p>Activity status when compliance not achieved: see activity status for RLZ-R17 to RLZ-R23</p>
<p>Activity status: DIS</p> <p>-</p>	<p>Activity status when compliance not achieved: see activity status for RLZ-R24 to RLZ-R38</p>

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

5. ~~RLZ-R24 to RLZ-R38~~; and
6. all Rural Lifestyle Zone ~~Built Form Standards~~.

Activity status: NC

-

Where this activity complies with the following activity rules/standards in the Rural Lifestyle Zone:

7. ~~RLZ-R39 to RLZ-R41~~; and
8. all Rural Lifestyle Zone ~~Built Form Standards~~.

Activity status when compliance not achieved: see activity status for ~~RLZ-R39 to RLZ-R41~~

For any activity statuses, any activity will need to comply with the following general activity standards:

- a. The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the ~~District Council~~'s Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in ~~DEV-K-S1~~ are met; and
- b. The activity is in accordance with the residential development requirements of ~~DEV-K-APP1~~.

DEV-K-R7 ~~Subdivision~~ activities in the Rural Lifestyle Zone

Activity status: CON

-

Where this activity complies with the following activity rules/standards in ~~subdivision~~:

1. ~~SUB-R1 to SUB-R3~~; and

Activity status when compliance not achieved: see activity status for ~~SUB-R1 to SUB-R3~~

<p>2. all Subdivision Standards.</p>	
<p>Activity status: RDIS - Where this activity complies with the following activity rules/standards in subdivision:</p> <p>3. SUB-R4 to SUB-R8; and 4. all Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R4 to SUB-R8</p>
<p>Activity status: DIS - Where this activity complies with the following activity rules/standards in subdivision:</p> <p>5. SUB-R9; and 6. all Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R9</p>
<p>Activity status: NC - Where this activity complies with the following activity rules/standards in subdivision:</p> <p>7. SUB-R9 to SUB-R11; and 8. all Subdivision Standards.</p>	<p>Activity status when compliance not achieved: see activity status for SUB-R9 to SUB-R11</p>
<p>For any activity statuses, any activity will need to comply with the following general activity standards:</p>	

- a. The provisions of the [Subdivision](#) chapter will apply to any part of the Development Area where the [District Council's](#) Chief Executive Officer or their delegate (following the receipt of an application) certifies that the criteria in [DEV-K-S1](#) are met; and
- b. The activity is in accordance with the residential development requirements of [DEV-K-APP1](#).

Development Areas Standards

DEV-K-S1 Certification for Kaiapoi Development Area – Criteria

1. The following criteria must be demonstrated to be met for the [District Council's](#) Chief Executive Officer or their delegate to certify to enable urban development ([subdivision](#) and [land](#) use activities) in the Kaiapoi Development Area:
 - a. the development will provide additional residential capacity to help achieve or exceed the projected total residential demand as identified in [UFD-O1](#) (for the medium term) as indicated by the most recent analysis undertaken by Council in accordance with the [NPSUD](#) and published on the [District Council](#) website; and
 - b. residential development within the Kaiapoi Development Area will meet all the following criteria, demonstrated by modelling using accepted industry practice:
 - i. firefighting flows within the piped treated [water](#) network servicing 95% of the Development Area will meet the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice;
 - ii. on-demand [water](#) schemes will need to have capacity to deliver greater than 2500 litres per connection per day at peak demand;

Activity status where compliance is not achieved: N/A

- iii. — [water](#) pressure within the piped treated [water](#) network servicing the Development Area is maintained at greater than 250kpa 100% of the time, and greater than 350kpa 95% of the time; and
- iv. — surcharge of pipes and flooding out of manholes will not occur during a design rainfall event (20% [AEP](#)) within the [stormwater](#) network necessary for the servicing of potential development that is being released;
- c. — a geotechnical assessment and flood assessment for the area has been prepared for this area and any identified risks contained within the assessments can be mitigated as part of [subdivision](#) design and consent;
- d. — in regard to flood assessment and mitigation, that discussions have occurred between the applicant for certification and the [Regional Council](#) and a summary of the discussions and agreement between these parties on the mitigation measures is provided;
- e. — there is sufficient capacity available within the Kaiapoi [Wastewater](#) Treatment Plant for this development;
- f. — a [stormwater](#) assessment has been developed for this area and any recommendation contained within the assessment is agreed by Council;
- g. — a transport [effects](#) assessment has been developed for this area and any recommendations contained within the assessment can be mitigated as part of [subdivision](#) design and consent;
- h. — a staging plan including:
 - i. — the amount of new residential [sites](#) created in the development subject to the application for certification;
 - ii. — number of stages for the development;
 - iii. — how many [sites](#) will be created per stage;

- i. an agreement between the [District Council](#) and the developer on the method, timing and funding of any necessary [infrastructure](#) and open space requirements is in place.
- 2. If a s224 certificate under the RMA has not been granted by the [District Council](#) within three years of the date of certification, certification shall cease to apply.

Advice Notes

DEV-K-AN1	Development areas may be certified in whole or in part, and where more areas are requested to be released than can meet the criteria of the certification process, they will be released in accordance with the staging plan.
DEV-K-AN2	For certification to be achieved, the District Council must receive information to demonstrate that the criteria in DEV-K-S1 are met.
DEV-K-AN3	The analysis required by criteria (1) of the certification process will be completed and published on the District Council website as follows: <ul style="list-style-type: none"> 1. Residential capacity will be calculated at least annually. 2. Residential demand will be calculated at least every three years in line with Statistics New Zealand subnational projections or Waimakariri Growth Model 3. Water and Wastewater capacity in Kaiapoi will be calculated at least annually.
DEV-K-AN4	Where certification of land in a Development Area depends upon additional or upgraded public infrastructure , the applicant may be required to enter into a Private Development Agreement with the District Council . This will normally be required where the District Council 's Development Contributions Policy does not clearly set out the specific contribution towards the costs of the additional or upgraded public infrastructure required. The Private

DEV-K-AN5	Development Agreement will normally include a lease clause and be registered against the Computer Register (Certificate of Title) for the land , to ensure that the developer meets their agreed obligations.
	Guidance on the certification process is available on the District Council's website.

Appendix

DEV-K-APP1 - Kaiapoi Outline Development Plan

Land Use Plan

The Outline Development Plan for the Kaiapoi Development Area enables the option for some variety of [site](#) sizes. Some medium density [residential activity](#) could be developed adjacent to a neighbourhood park in the north of the [site](#), in order to take advantage of opportunities to overlook a high amenity facility, as well as at the edge of the smaller, southern portion of the Kaiapoi Development Area north of Beach [Road](#). However this component of the Outline Development Plan is flexible and optional and will likely be dictated by development feasibility and market demand in this location. The Medium Density Residential Zone enables a minimum lot size of 200m² while the General Residential Zone enables a minimum lot size of 500m². Overall, the Kaiapoi Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved²².

A small optional neighbourhood/local centre, shown in the Outline Development Plan as commercial/business, is located at the centre of the Kaiapoi Development Area at the juncture of a Sovereign Boulevard extension and the north/south primary [road](#) that connects to the Beach Grove development in the south. The Sovereign Boulevard extension forms a key connecting route into the Development Area from the adjacent existing residential development. The location of the neighbourhood/local centre offers a degree of visibility, activity and traffic generated by the north/south primary [road](#), which has positive flow-on [effects](#) on neighbourhood businesses' sustainability. However, the exact location of the optional neighbourhood/local centre is a flexible component of the Outline Development Plan, if constructed, so long as it is located along the north/south primary [road](#) to optimise associated opportunities. This recognises some flexibility around staging and implementation of development.

The Kaiapoi Development Area is predicted to be affected by flooding from localised rainfall, an Ashley [River](#)/Rakahuri breakout and sea [water](#) inundation. The northern-most [land](#) in the Kaiapoi Development Area north of the current paper [road](#) (which lines up approximately

²² ECan [316.190]

with Lilian Street in the western existing residential [subdivision](#)) is likely most suitable for urban development compared to the [land](#) south of it, due to the shallower depth of predicted flooding from the identified events in this location. Most of the [land](#) within the Kaiapoi Development Area south of the paper [road](#) that approximately lines up with Lilian Street is predicted to be affected by greater flood depths in the identified events. [Filling](#) of [land](#) and/or the construction of a bund to mitigate the [effects](#) of these hazards is anticipated to be required for residential development to occur, which will likely affect development feasibility and consequently impact on housing affordability.

Kaiapoi North School is located just north of the smaller Development Area block north of Beach [Road](#), and south of the large portion of the Development Area. It could be feasible that [preschool](#)(s) are established in the Development Area.

Development within the Kaiapoi Development Area is to be contiguous. The Outline Development Plan does not anticipate physically separated or ad-hoc development.

Movement Network

The Outline Development Plan for the Kaiapoi Development Area provides access to this growth area through a network of primary and secondary [roads](#) that ensure development integration, efficient traffic management and public transport corridors. Only these more significant [roads](#) are identified in the movement network plan. The layout of additional tertiary [roads](#) to service the residential areas will respond to detailed [subdivision](#) design of those areas. The specific roading classification of all [roads](#) will be ultimately determined at the time of development, to provide flexibility and match the eventual roading classification system made operative through the [District Plan](#). Primary and secondary [roads](#) for the Kaiapoi Development Area are located to ensure that all existing parcels of [land](#), when developed, can be served by the roading network.

The main north/south primary [road](#) is seen as a logical future link for traffic movement around Kaiapoi on the north eastern side. It will be designed to promote reduced vehicle speeds and increased safety to other street users. Some form of intersection treatment and/or upgrades are appropriate at the extensions of existing streets to the west entering the Development Area to ensure good integration, reduced traffic speeds and enhanced safety.

Kaiapoi North Primary School is located at the south of the main Development Area and at the northern edge of the small parcel of the Development Area north of Beach [Road](#) and the anticipated movement network connects the residential growth area to the school well.

Pedestrian footpaths will be provided on at least one side of each [road](#). The movement network plan should be read in conjunction with the green network plan which also provides informal cycling and walking corridors, such as along green links. The principle of walkability is incorporated through the use of a connected roading pattern, additional pedestrian links and the location of open spaces.

Open Space and [Stormwater](#) Reserves

The Outline Development Plan for the Kaiapoi Development Area indicates two open space reserve locations together with a [stormwater](#) management area and green links throughout the [site](#).

The open space reserves are located strategically in places that are highly prominent, easily accessed and have the ability to add to the character and identity of the development, complement existing reserves in the established residential area west and south of Development Area, and are within a 500m radius of all residential households in Development Area 4. One open space reserve is located adjacent to the north/south primary [road](#) in the northern part of the Kaiapoi Development Area, and another further south along the western edge of the Development Area. Flexibility of the exact location of the reserves is possible, as long as it [accessible](#) within a 500m radius to the respective residential areas in the Kaiapoi Development Area. To maximise functionality, accessibility and visibility, open space reserves must be bordered by at least one [road](#), and a second either [road](#) or public [accessway](#) such as a green link.

Any required open space reserve should be prioritised in the early stages of a new residential development, and subsequently when further expansion extends beyond the margins of radius and/or resident population guidelines.

A number of green links are shown in the Outline Development Plan for the Kaiapoi Development Area. Green links must be bordered by at least one [road frontage](#) (except in cases where they serve as a short connection strip) to provide appropriate access, visibility, amenity and safety for users.

Four [stormwater](#) catchments make up the larger Kaiapoi Development Area and it is the developers' responsibility to investigate and propose an appropriate and acceptable [stormwater](#) solution to respond onsite to [stormwater](#) for this growth area. Impacting on any investigations for [stormwater](#) solutions will be the [Regional Council](#)'s responses to legislative requirements relating to [freshwater](#) and other matters, and therefore the [Regional Council](#) must be engaged during the formulation of proposals. [Stormwater](#) must be managed by an appropriately designed [stormwater](#) treatment system with high [amenity values](#), and streams, springs and waterways must be protected where present.

The [Regional Council](#) identifies the McIntosh [Drain](#) as a natural waterway. [Waterbodies](#) must be protected intact, or improved, as part of any development and any potential adverse impacts on the local and receiving [waterbody](#) ecology must be mitigated. The ground in this area is known to have relatively high [groundwater](#) and it is therefore assumed any proposed [stormwater](#) reserves would be wet reserves.

A small [stormwater](#) management reserve is identified in the southeast of the small portion of the Kaiapoi Development Area just north of Beach [Road](#).

[Water and Wastewater Network](#)

The provision of reticulated [water supply](#) assumes a skeleton network for the Kaiapoi Development Area, where only [water](#) pipes 100mm in diameter and greater are specified. The exact location of the reticulation may change when [road](#) layouts are confirmed, noting that some identified [road](#) locations as specified under 'Movement Network' are fixed and others are flexible.

All of the reticulation upgrades relating to the Kaiapoi Development Area are proposed to be within the growth area. Previous upgrades have already been undertaken to account for this demand on the scheme. Source and headworks upgrades are not Development Area specific, rather they apply to the whole scheme. Three [District Council](#) driven extra over projects are specified, with upgrades required to maintain the existing levels of service to current and future customers. Existing [water](#) reticulation extends to the western edge of the large portion of the Kaiapoi Development Area, making connection relatively straight-forward. A new main is shown off Beach [Road](#) for the small portion of the Development Area.

Four catchments make up the large portion of the Kaiapoi Development Area for [wastewater](#) servicing requirements and only the key trunk [infrastructure](#) and pumpstations/rising mains are shown in the Outline Development Plan. As this area in Kaiapoi is flat, it is anticipated that [earthworks](#) will be undertaken as part of the development, similarly to what was undertaken at Sovereign Palms to regrade the [subdivision](#) for the installation of services. On this basis, three pumpstations in the large northern portion of the Development Area are proposed to service the catchments, with a common rising main to deliver flow to the Kaiapoi [Wastewater](#) Treatment Plant. These pumpstations are located in the northern, middle and southern portion of the large portion of Development Area at a similar latitude to the Sovereign Palms and Moorecroft pumpstations. Each catchment has a central pumpstation, and gravity sewer surrounding it. The exact locations of the pumpstation can be shifted to align with final [road](#) networks.

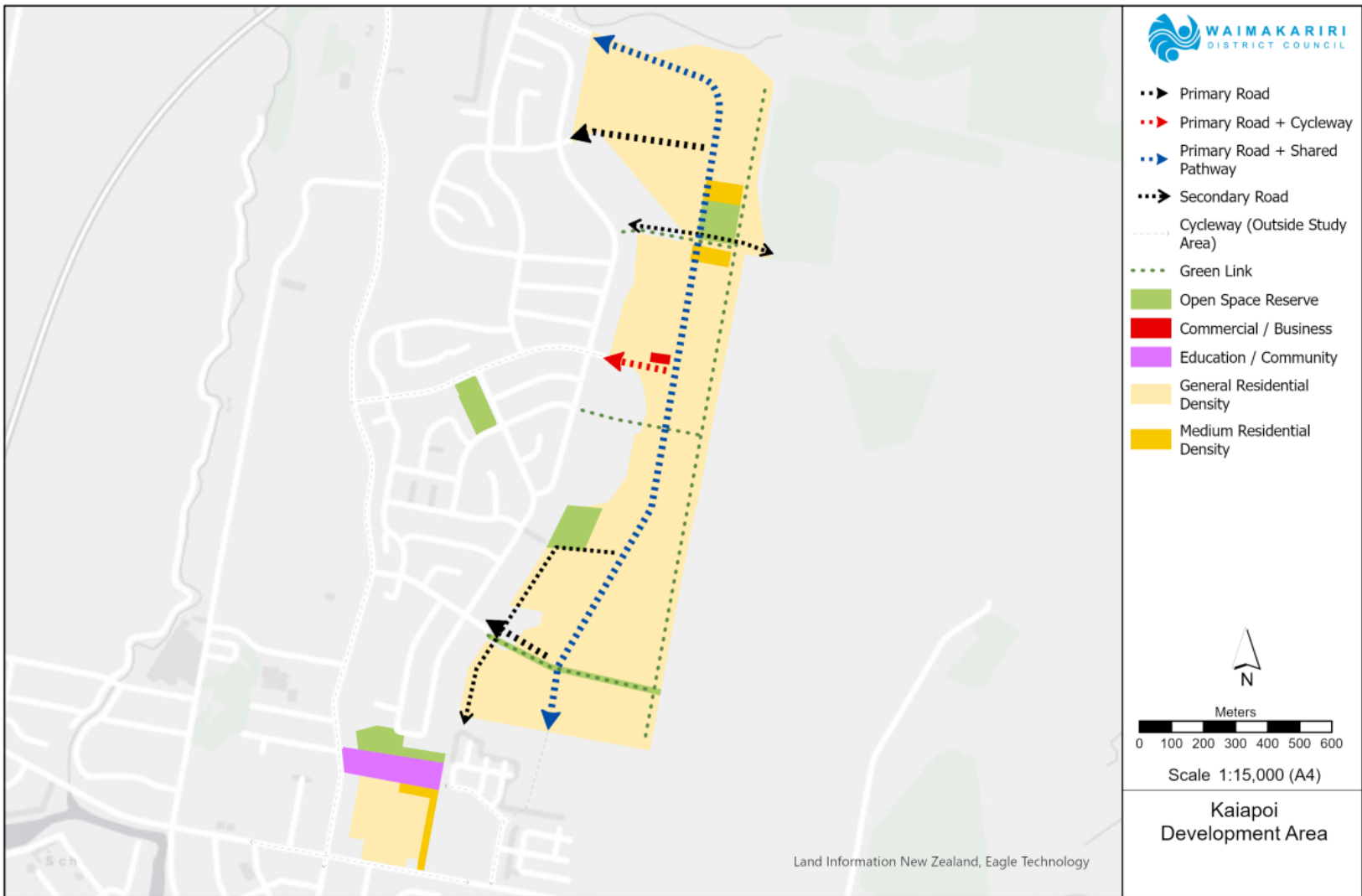
Ideally, the network would be constructed from south to north, so that there is [infrastructure](#) (common rising main) for subsequent catchments to connect into. Temporary solutions would need to be discussed if development was to occur in the north first.

High [groundwater](#) is present in the Kaiapoi Development Area together with significant flood risks modelled for localised flooding events, Ashley [River](#)/Rakahuri Breakout events, and coastal flooding events. [Filling](#) of [land](#) and/or the construction of a bund to mitigate the [effects](#) of these hazards is anticipated to be required for residential development to occur, which will likely affect development feasibility and consequently impact on housing affordability. Due to high [groundwater](#), reticulation may have to be low pressure sewer, however if significant [earthworks](#) are undertaken, a gravity sewer network may be possible.

Fixed Outline Development Plan Features for the Kaiapoi Development Area:

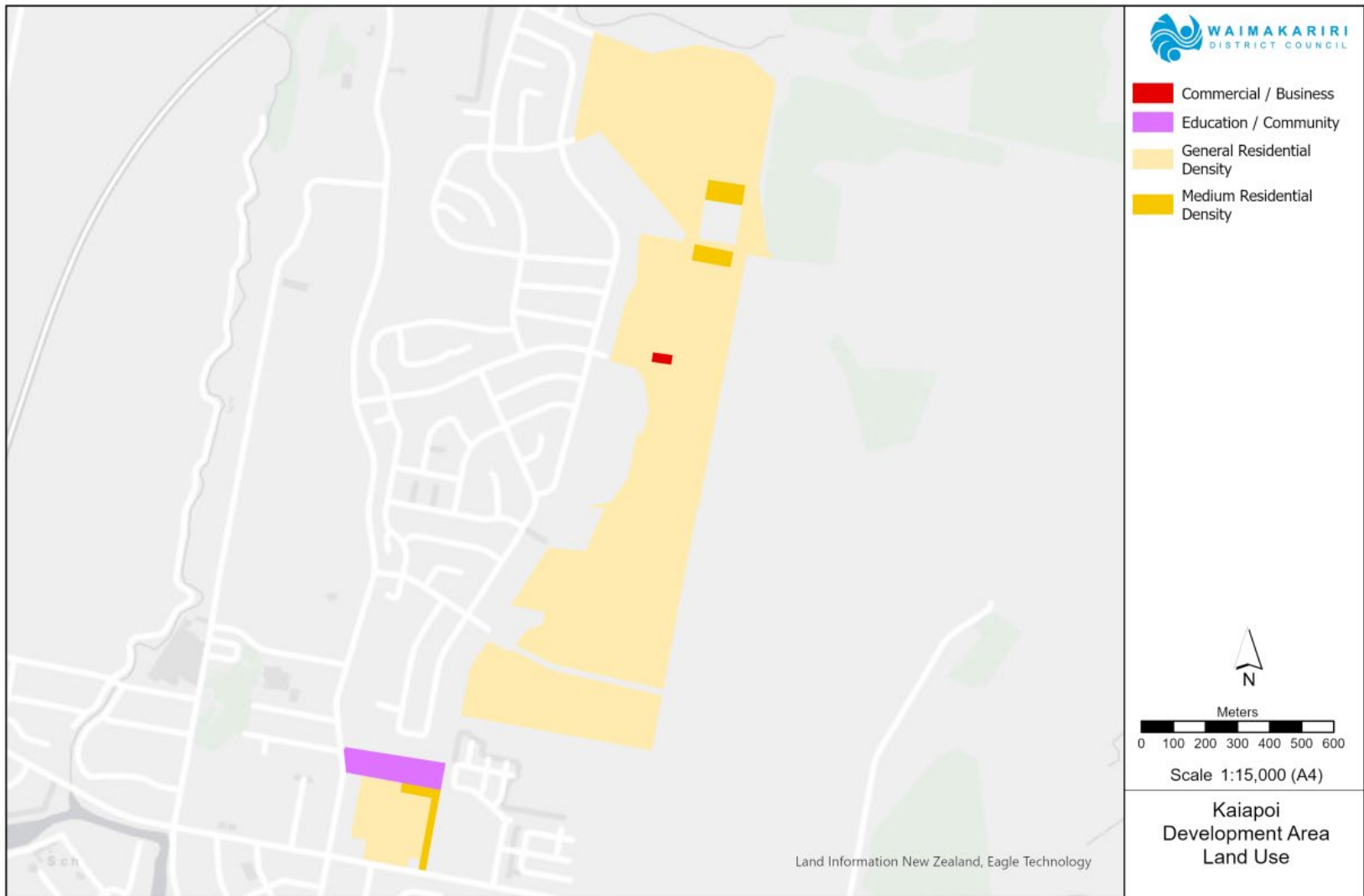
- A north/south [road corridor](#) that connects with Lees [Road](#) in the north and Tuhoë Avenue in the south, including a separated shared pedestrian/cycleway
- Integrated [road](#) connections between the new north/south [road](#) and Beachvale Drive, Sovereign Boulevard, and Magnolia Boulevard
- Location of [stormwater](#) reserve corridor at eastern edge of the Development Area

Kaiapoi Outline Development Plan - Overall



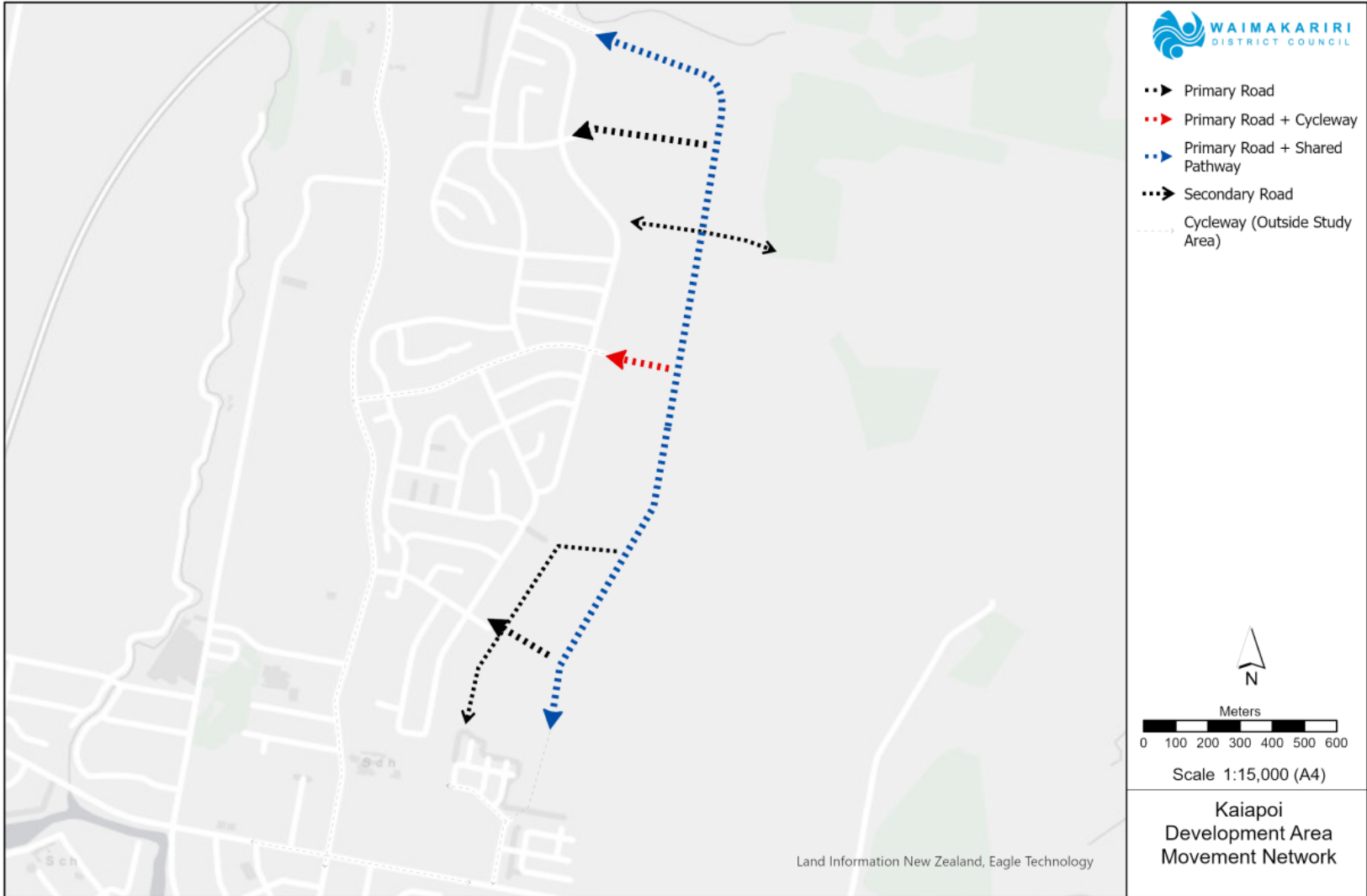
Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Kaiapoi Outline Development Plan - [Land Use](#) Use



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Kaiapoi Outline Development Plan - Movement Network



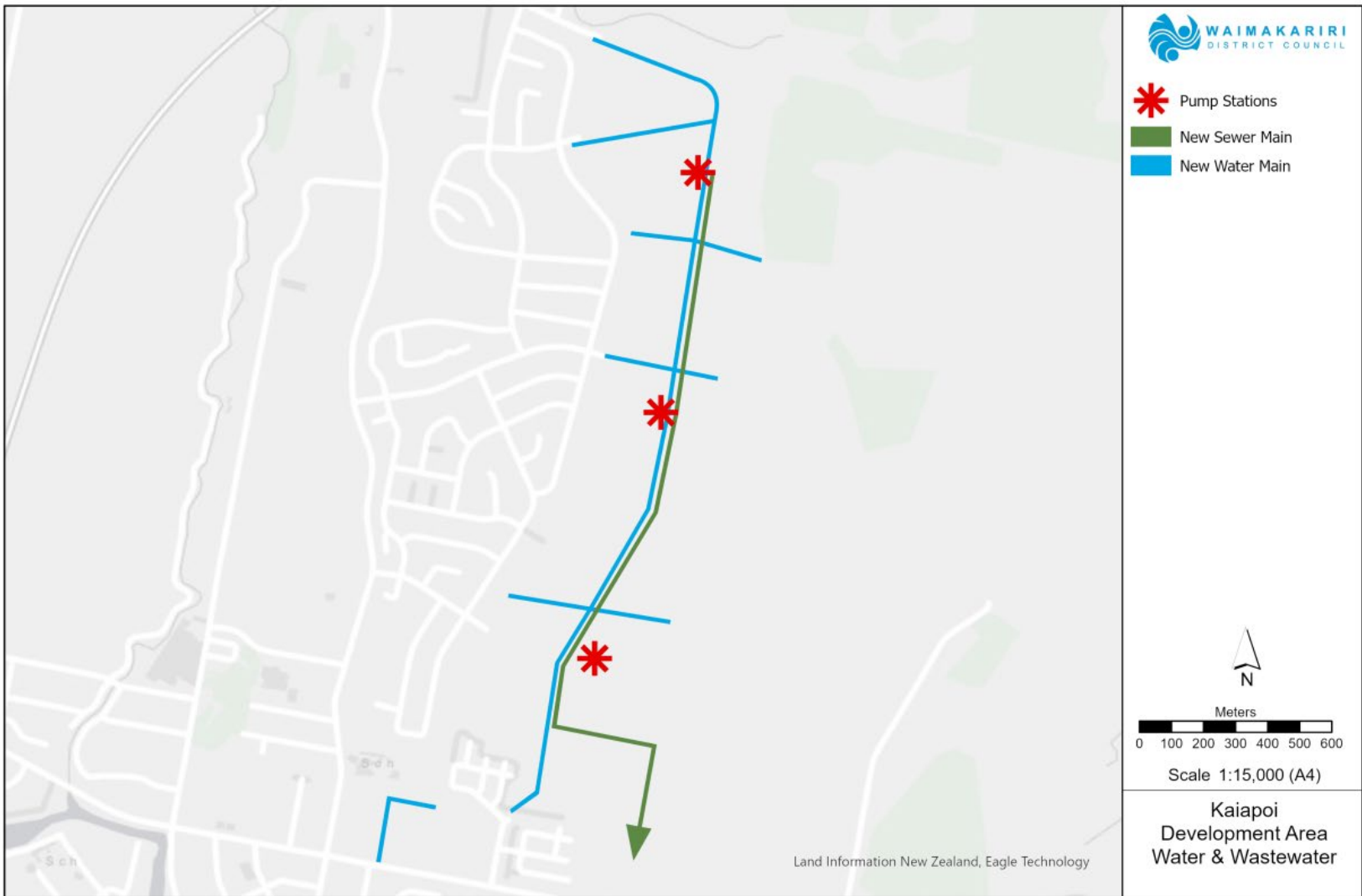
Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Kaiapoi Outline Development Plan - Open Space and [Stormwater](#) Reserves



Cadastral Data from LINZs DCDB. Crown Copyright Reserved.

Kaiapoi Outline Development Plan - [Water](#) and [Wastewater](#)



Appendix B. Recommended Responses to Submissions and Further Submissions

Submitter No	Submitter Name	Provision	Sentiment	Decision Requested	Section of this Report where Addressed	Officer's Recommendation	Officers' Reasons/Comments	Recommended Amendments to Proposed Plan?
6.1	Kaiapoi North School	General	Neutral	Requests Council and future developers meet with the Ministry of Education and Kaiapoi North School Principal to discuss any residential development plans to ensure capacity of school network to cope with the increase in children, access, traffic safety, biking/walking to school, and impact on drainage from new development areas.	Section 6.19	Accept in part	Council cannot required developers to meet with the school but can encourage the submitter to remain involved with the hearings process to ensure that their interests are considered.	No
33.1	Stephen Gordon Glen-Osborne	General	Oppose	Support inclusion of the West Rangiora Development Area in the Proposed District Plan, including Objectives and Policies and provision for Medium Density Residential Zones. Support Outline Development Plans as proposed. Include West Rangiora Development Area and associated Outline Development Plans and related Objectives and Policies in District Plan. Retain Medium Density Residential Zones in West Rangiora Development Area. Retain 63 Oxford Road and 212 Johns Road in West Rangiora Development Area.	Section 6.17	Accept		No
34.1	Georgia May Glen	General	Support	Support the West Rangiora Development Area, including objectives and policies and provision for medium residential density zones. Support Outline Development Plans as proposed. Retain West Rangiora Development Area and associated Outline Development Plans and related objectives and policies. Retain medium density zones in West Rangiora Development Area. Retain 63 Oxford Road and 212 Johns Road in West Rangiora Development Area.	Section 6.17	Reject		No

62.58	Chorus New Zealand, Spark New Zealand Trading Limited, Vodafone New Zealand Limited	General	Oppose	<p>Oppose DEV-WR-S1. The certification process for the West Rangiora Development Area focuses on transport and 3 waters infrastructure but does not mention communications infrastructure and therefore is considered inconsistent with the NPSUD. The telecommunications companies are seeking an operational procedure as part of the criteria for certifying new development areas by the Chief Executive to ensure telecommunications network operators (and ideally other non-public infrastructure operators such as electricity and gas distribution) have been advised so they have the opportunity to plan for serving new growth. Amend the criteria in DEV-WR-S1: 1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the [XYZ] Development Area:</p> <p>...</p> <p>x. all network utility companies providing telecommunications (fibre or mobile networks), electricity distribution and gas reticulation) to the development area have been advised of the expected timing and enabled capacity of development.</p>	Section 6.2	Reject	I consider that infrastructure capacity issues are a requirement of the subdivision chapter provisions and subdivision consent, which occurs after certification consent.	No
62.59	Chorus New Zealand, Spark New Zealand Trading Limited, Vodafone New Zealand Limited	General		<p>Oppose DEV-NER-S1. The certification process for the North East Rangiora Development Area mentions transport and 3 waters infrastructure but not communications infrastructure and as such is inconsistent with the National Policy Statement on Urban Development 2020. The telecommunications companies are seeking an operational procedure as part of the criteria for certifying new development areas by the Chief Executive to ensure telecommunications network operators (and ideally other non-public infrastructure operators such as electricity and gas distribution) have been advised so they have the opportunity to plan for serving new growth. Amend the criteria in DEV-NER-S1:</p> <p>"1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the [XYZ] Development Area:</p> <p>...</p> <p>x. all network utility companies providing telecommunications (fibre or mobile networks), electricity distribution and gas reticulation) to the development area have been advised of the</p>	Section 6.2	Reject	I consider that infrastructure capacity issues are a requirement of the subdivision chapter provisions and subdivision consent, which occurs after certification consent.	No

				expected timing and enabled capacity of development."				
62.60	Chorus New Zealand, Spark New Zealand Trading Limited, Vodafone New Zealand Limited	General		<p>Oppose DEV-SER-S1. The certification process for the South East Rangiora Development Area focuses on transport and 3 waters infrastructure but not communications infrastructure and as such is considered inconsistent with the National Policy Statement on Urban Development 2020. The telecommunications companies are seeking an operational procedure as part of the criteria for certifying new development areas by the Chief Executive to ensure telecommunications network operators (and ideally other non-public infrastructure operators such as electricity and gas distribution) have been advised so they have the opportunity to plan for serving new growth. Amend the criteria in DEV-SER-S1:</p> <p>"1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the [XYZ] Development Area:</p> <p>...</p> <p>x. all network utility companies providing telecommunications (fibre or mobile networks), electricity distribution and gas reticulation) to the development area have been advised of the expected timing and enabled capacity of development."</p>	Section 6.2	Reject	I consider that infrastructure capacity issues are a requirement of the subdivision chapter provisions and subdivision consent, which occurs after certification consent.	No

62.61	Chorus New Zealand, Spark New Zealand Trading Limited, Vodafone New Zealand Limited	General		<p>Oppose DEV-K-S1. The certification process for the Kaiapoi Development Area focuses on transport and 3 waters infrastructure but not communications infrastructure which is considered inconsistent with the National Policy Statement on Urban Development. The telecommunications companies are seeking an operational procedure as part of the criteria for certifying new development areas by the Chief Executive to ensure telecommunications network operators (and ideally other non-public infrastructure operators such as electricity and gas distribution) have been advised so they have the opportunity to plan for serving new growth. Amend the criteria in DEV-K-S1 by adding a new clause:</p> <p>"1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the [XYZ] Development Area:</p> <p>...</p> <p>x. all network utility companies providing telecommunications (fibre or mobile networks), electricity distribution and gas reticulation) to the development area have been advised of the expected timing and enabled capacity of development."</p>	Section 6.2	Reject	I consider that infrastructure capacity issues are a requirement of the subdivision chapter provisions and subdivision consent, which occurs after certification consent.	No
68.21	Canterbury District Health Board	DEV-NRG- APP1	Oppose	<p>Oppose the North Rangiora Outline Development Plan in DEV-NRG-APP1 as it relates to Rangiora Hospital on Ashley Street as it shows a stormwater management area on its site. The Canterbury District Health Board may wish to intensify hospital activities on its site, consistent with SPZ(HOS)-O1 and P1, and this stormwater management area reduces this potential. The area is not currently a formed stormwater management area. Delete the stormwater management area from the Canterbury District Health Board's Rangiora Hospital site shown on the North Rangiora Outline Development Plan.</p>	Section 6.4	Accept in part	As land has been rezoned to SPZ(HOS), the DEV rules no longer apply as it is no longer in the rural lifestyle zone. The ODP has been updated to remove the stormwater management area	Yes
68.22	Canterbury District Health Board	DEV-NRG-R2	Oppose	<p>Opposes DEV-NRG-R2 as it requires development to be in accordance with DEV-NRG-APP1 (the Outline Development Plan) which shows a stormwater management area on the Canterbury District Health Board's (CDHB) property Rangiora Hospital, which the CDHB opposes. Delete the stormwater management area from the Canterbury District Health Board's land fronting Ashley Street. Alternatively, exclude the site from having to comply with DEV-NRG-APP1 under DEV-NRG-R2.</p>	Section 6.4	Accept in part	As land has been rezoned to SPZ(HOS), the DEV rules no longer apply as it is no longer in the rural lifestyle zone. However, the DEV provisions have been amended to make this relationship clear, rather than deleting the ODP itself.	Yes

75.1	Jay Jolly	K		<p>Partially support residential development in the Kaiapoi Development Area. Enjoy the current 'country outlook', quality of life and the nature and wildlife and would like to see an ecological green belt along the east side of Sutherland Drive to retain this. It would adjoin the green belt which runs along Sutherland-Brockelbank-Fergus.</p> <p>Consider street light placing and dimness so people can enjoy the night sky.</p> <p>Concerned about traffic safety at the Williams/Pinacres turn off as intersection is dangerous and difficult with traffic not adhering to speed limit.</p> <p>Decent sized sections with off street parking for residents should be considered.</p> <p>Concerned about dust and noise pollution as it adversely affects mental health, property cleanliness and dust related allergies.Ensures the development includes the following:</p> <ul style="list-style-type: none"> - Ecological corridors along the east belt for native wildlife. - Traffic management reviewed. - Decent sized sections and streets for off street parking. - Dust and noise pollution kept to a minimum for respect of mental health. 	Section 6.19	Accept in part	The new development area ODP provisions will ensure that most of these submitters' outcomes are protected, and the recommended lighting provisions will better protect the night sky in new residential developments.	No
80.1	Dawn Revell	K		<p>Seek an ecological green belt east of Sutherland Drive to retain birdlife.</p> <p>More vehicles will put pressure on already overloaded roads from Pegasus to the Waimakariri River due to increased subdivisions. Concerned if there are enough schools and services to sustain extra growth.</p> <p>Seeks dimmer street lights to preserve the night sky. Retaining the quality of the environment is paramount.Ensure Kaiapoi Development Area includes ecological corridors, dimmer street lights, similarly sized sections and open spaces to the adjoining Sovereign Palms subdivision, and adequate infrastructure.</p>	Section 6.19	Accept in part	The new development area ODP provisions will ensure that most of these submitters' outcomes are protected, and the recommended lighting provisions will better protect the night sky in new residential developments.	No

81.1	Allan Charles	K		Support the General Residential Zone in the Kaiapoi Development Area, conditional to section sizes being similar to the adjoining subdivision, and an ecological corridor being formed to mitigate effects of habitat reduction and fragmentation, and promoting passage of fauna. Indigenous flora provide amenity attributes and opportunities for recreation and environment education. The sky is not excessively affected by street light pollution. Light pollution disrupts ecosystems and washes out starlight. Require developers of the Kaiapoi Development Area to include section sizes, roads and streetscaping similar to the adjoining Sovereign Palms subdivision, ecological linkage spaces with indigenous plantings adjoining existing open spaces to form an ecological corridor, and install street lighting that limits light pollution.	Section 6.19	Accept in part	The new development area ODP provisions will ensure that most of these submitters' outcomes are protected, and the recommended lighting provisions will better protect the night sky in new residential developments.	No
94.1	Faye Andrea Rose	K		Oppose Kaiapoi Development Area overlay because: 1. developing the area east of Sovereign Palms as residential is risky due to its orange tsunami zoning meaning it may be flooded multiple times in a person's lifetime 2. the area has high groundwater, along with significant flood risk from localised flooding events due to rainfall, in addition to the tsunami threat 3. increased housing density will increase nutrients which will promote waterway algal growth and therefore adversely affect wildlife, and could also be harmful to young children and 4. additional residential development will reduce habitat and further disconnect the Lakes Reserve for the passage of fauna from the surrounding streams, lakes and the few remaining mature trees. Retain Rural Lifestyle zoning of the Kaiapoi Development Area. If this is not possible, then ensure any development of this area includes: 1. retention of remaining mature trees along Lees Road 2. a wide nature strip/swale along the back of the existing eastern Sutherland Drive properties to enable stormwater runoff, retain habitat and passage for the local fauna, and mitigate the orange tsunami zoning and 3. low density development, i.e. large lifestyle sections which will retain the existing rural nature of area, in order to maintain the quality of life of existing residents and wildlife.	Section 6.19	Accept in part	The new development area ODP provisions will ensure that most of these submitters' outcomes are protected, and the recommended lighting provisions will better protect the night sky in new residential developments.	No

96.1	David Whitfield	EI-R45 / NER	Amend	Oppose the proposal of water, sewage and storm water provision to Golf Links Road. Provide water, sewage and storm water to Golf Links Road from the proposed subdivision at 52 Kippenberger Avenue.	Section 6.18	Accept in part	My understanding of this submission is that it is a rezoning request, to provide residential zoning to the submitters' property, as well as neighbouring properties. This property is within the DEV overlay, and the NER ODP, however does not currently have reticulated water or sewage, although this is within the ODP. The certification consent offers a pathway for this type of future subdivision and development	No
107.1	Cory and Philippa Jarman	General	Oppose	Oppose residential development of the proposed area. Development would affect wildlife habitat. Submitter planted their garden to sustainably support the local environment. Two-storey housing up to the boundary would affect privacy and sunlight. More housing will add pressure on infrastructure, including transport (increased demand on Pineacres intersection) and noise. Lees Road is dangerous to pedestrians as it is too narrow, lacks sufficient footpaths, and drivers often speed. More housing would increase stormwater and wastewater discharges, and water consumption. Noise, dirt and pollutants from the development could impact enjoyment of submitter's property. Purchased property to enjoy environment, including full sun, rural outlook, night sky and wildlife. Property came with farm-style fencing to enjoy the rural outlook, which should not have been used if this outlook was not intended to be permanent. Concerned about rezoning an area that is rated orange for natural hazards, including tsunamis and medium flood risk. While this can be remediated, it would reduce enjoyment of property from noise and dust. Retain rural zoning of the proposed development area. Provide ecological corridors along the eastern side of Sutherland Drive, with native planting and landscaping to support wildlife and maintain privacy and outlook. Provide height restrictions for single storey buildings only. Provide large sections only to limit number of additional houses that would place further demand upon infrastructure. Provide open spaces in conjunction with the existing Sovereign Estate subdivision. Provide dim street lighting. Provide adequate infrastructure/roading facilities.	Section 6.19	Reject	Not clear from the submission if they are opposed fully, or if they are open to the development proceeding with constraints. Note that the land in question is zoned as rural lifestyle, not rural, and has been marked for development for many years, including through the CRPS. Reject, as the proposed constraints would make the EKP development area inconsistent with other development areas across the district without any particular defining features of localised amenity and characteristics	No

109.1	Nick Thorp	DEV-NER-APP1	Oppose	Submitters are disproportionately affected in options for their land. The esplanade requirements entail surrendering over 20% of one property and 30% of another. Seek mitigating or sharing impact over a wider group of property owners, including residents	Section 6.18	Reject	Mr Thorp owns property at 8 Kippenburger Avenue, within the NER ODP, and on an undeveloped section of the property. His concern are the identified flow paths on the ODP that cross his property which may require the taking of esplanade reserves or strips if the land is subdivided. This is the headwaters of the Cam / Ruataniwha River. This has a NATC-SCHED2 natural character overlay on it. I consider Mr Thorpe is correct in assuming that if this land is developed, a component of his section would be required to be set aside from development because of the physical characteristics of it. If developed as part of a larger bundle of properties, such as all of the remaining undeveloped Golf Links Road properties, this could necessitate an agreement amongst those landowners on proportionality and cost-sharing. However that is an individual choice for the property owners, and I do not consider it is a matter for the proposed plan.	No
114.1	Jonathon Renwick	General	Support	Support provision for residential development in West Rangiora and suggests that West Rangiora Development Area should be zoned General Residential Zone to meet the demand for new houses. Oppose the Movement Network and maps in the West Rangiora Development Area, because the proposed new primary road from Oxford Road to Johns Road is unnecessary as there are already good roads serving the Proposed Development with Oxford Road, Lehmans Road, West Belt and Johns Road. A straight new primary road will just become a race track. Rezone the West Rangiora Development Area to General Residential Zone. Amend the proposed Movement Network in the maps of the Development Area with no straight through road.	Section 6.17	Reject	Transport assessments consider that the new road is required.	No

118.1	Alphons and Elisabeth Sanders	General	Amend	Support provision for residential development in West Rangiora, and consider that this area should be zoned as General Residential Zone now	Section 6.17	Accept in part	The development area overlay and certification process is one pathway to enabling development in this area, with rezoning being another pathway available. The rezoning of part or all of this area will be considered in hearing stream 12	No
FS 91	FS R J Paterson Family Trust		Support			Accept		
147.1	Kaiapoi-Tuahiwi Community Board	General	Neutral	Concerned that new development areas are inadequate to cope with the projected growth of the District. Based on current levels of consenting there appears to be only approximately five to seven years of capacity. Not specified.	Section 6.3	Reject	The Formative report has modelled various development scenarios for the District and considers that if all FUDA land was to be rezoned, the District would meet its 30 year development capacity targets.	No
FS 52	FS Ohoka Meadows Ltd		Support			Reject		
149.1	The Board of Trustees of Rangiora High School		Support	Generally supportive of proposed change of land use in the North East Rangiora (NER) Development Area as they are positive for the wider community that the school serves, and the Board owns land in the NER that is used for equine, agriculture, and horticulture education purposes. Land use for medium density residential will not be compatible with the educational purposes, and other possible land use provided for in the proposal will be consistent with the Board's objectives. Concerned about increasing reverse sensitivity from surrounding land owners towards the agricultural activities. These risks can be managed through carefully planned development activities and by ensuring that the land able to be used for educational purposes is not reduced. That the Council notes the Board's concerns and desire for continued engagement as development plans for surrounding land are finalised.	Section 6.18	Accept	I note my recommendation for Option B.	Yes

160.22	Rolleston Industrial Developments Limited	General	Amend	<p>Seeks addition of proposed Ohoka Development Area Outline Development Plan and associated provisions from proposed Private Plan Change 31 to Operative District Plan (RCP031) in the 'Existing Development Areas' section. Insert proposed Ohoka Development Area and Outline Development Plan and associated provisions into 'Existing Development Areas' section as detailed in Annexure D of the submission.</p> <p>Annexure D involves an expansion of Ohoka (156ha extending southwest from Mill Rd and bound by Bradleys Rd and Whites Rd) with a village centre, provision for 800 residential units, and a school or retirement village. Annexure D also outlines requirements relating to fencing, landscaping, land use (including minimum net density), movement network, water and wastewater network, open space, recreation and stormwater management, character and amenity through landscape and design, water bodies and freshwater ecosystems, and cultural matters.</p>	Section 6.21	Reject	The proposed development area is outside of Map A, CRPS	
FS 36	FS J W and CE Docherty		Oppose			Accept		
FS 38	FS I W and L M Bisman		Oppose			Accept		
FS 41	FS David Cowley		Oppose			Accept		
FS 48	FS Waimakariri District Council		Oppose			Accept		
FS 60	FS Martin Hewitt		Oppose			Accept		
FS 61	FS Catherine Mullins		Oppose			Accept		
FS 62	FS Oxford Ohoka Community Board		Oppose			Accept		
FS 71	FS Albert George Brantley		Oppose			Accept		
FS 72	FS Steven Holland		Oppose			Accept		
FS 73	FS Michelle Holland		Oppose			Accept		
FS 74	FS Val & Ray Robb		Oppose			Accept		
FS 75	FS Edward & Justine Hamilton		Oppose			Accept		
FS 84	FS Ohoka Residents Association		Oppose			Accept		
FS 98	FS Mary Koh		Oppose			Accept		
FS 112	FS Gordon C Alexander		Oppose			Accept		

163.1	Lamb and Hayward Ltd	General	Amend	Oppose in part, as Development Area 'A' increases residential activity abutting the Lamb and Hayward site. Funeral related services and future expansion could be restricted by the National Policy Statement on Urban Development and medium density residential, unless these activities are permitted within residential areas. Omit or provide for recognition via an inclusion of funeral homes in the definition of spiritual or community facilities and include an appropriate rule and objective and policy framework to support this recognition.	Section 6.18	Reject		No
FS 85	FS Bellgrove Rangiora Ltd		Support			Reject		
163.2	Lamb and Hayward Ltd	General	Amend	Development Area 'B' proposes a road along the eastern boundary and Education/Community zoning along the western boundary which decreases the possibility of adverse effects and reverse sensitivity as these facilities are more accommodating of noise, built form and reduction in residential amenity. Amend to include buffer along northern boundary such as a green link and/or cycleway to the community/education zone.	Section 6.18	Accept in part	Accept buffer in principle but technical evidence on the nature and design of the buffer may be required	Yes
163.3	Lamb and Hayward Ltd	General	Amend	As attached in Appendix A (see full submission), generally support North East Development Area 'B'. However the intersection control along Kippenberger Avenue and the new Road is assumed to be a stop sign. Request Council consider an intersection control that does not restrict access to the site from right turning traffic which a traffic light system or roundabout may have. Amend to ensure the intersection of the future road and Kippenberger Street will not restrict right turning traffic into the Lamb and Hayward site. Include recognition of funeral home facilities via an inclusion of funeral homes in the definition of spiritual or community facilities and include an appropriate rule and objective and policy framework to support this recognition.	Section 6.18	Accept in part		Yes
167.6	Beach Road Estates Limited	DEV-EKP-APP1	Oppose	Oppose the East Kaiapoi Outline Development Plan as it covers the Beachgrove subdivision but does not reflect the construction under Stages 1 and 2, consents for Stages 3 and 4, and proposal for Stages 5 to 8. Delete the notified East Kaiapoi Outline Development Plan (ODP) and replace with the East Kaiapoi ODP attached as Appendix Two.	Section 6.9	Accept in part	Updated to reflect subdivision consent	Yes

173.1	David Colin, Fergus Ansel Moore, Momentum Land Limited	DEV-K-APP1	Amend	The future zoning of the land under the Kaiapoi Outline Development Plan is proposed as General Residential Density, with the exception a small area at 310 Beach Grove which is proposed as Medium Residential Density, however the underlying existing 'Rural Lifestyle' zoning and certification process creates uncertainty and risk for developers as there is no certainty of development capacity until the certification process has been completed and the 'appropriate zoning' is determined by Council. Instead a 'Medium Density Residential' zoning is considered appropriate. The land is adjacent to existing development, with physical connections enabled to both transportation and infrastructure routes. Rezone the land subject to this submission to Residential Medium Density, to allow for a density of development that is consistent with adjacent residential land. Amend the Kaiapoi Outline Development Plan to show the 'Residential Medium Density' Zone location. That the above rezoning to Residential Medium Density be undertaken in advance of the certification process. Retain the enabling policy for Retirement Villages in Residential Zones.	Section 6.19	Reject	Both rezonings and certification are options under the Proposed District Plan	No
FS 80	FS Christchurch International Airport Ltd		Oppose			Accept		
179.1	Rachel Claire Hobson and Bernard Whimp	DEV-NER-01	Amend	Include 518 Rangiora-Woodend Rd within a New Development Area given its proximity to the proposed North East Rangiora Development Area and South East Rangiora Development Area, it's adjacency to one of Rangiora's major arterial roads, and Rangiora's expected growth rate. Include 518 Rangiora-Woodend Rd (and adjoining properties as appropriate) within the North East Rangiora Development Area or South East Rangiora Development Area.	Section 6.18	Reject	No outline development plan has been supplied to assess at this time	No
FS 39	FS Marcus Obele		Oppose			Accept		
FS 90	FS Rachel Hobson & Bernard Whimp		Support			Reject		

179.2	Rachel Claire Hobson and Bernard Whimp		Amend	Oppose certification process for enabling urban development as it is uncertain, unproven, highly discretionary and slower than rezoning the land. Rezoning is both preferable and essential to give effect to the direction of higher order planning documents, including the National Policy Statement on Urban Development and the Canterbury Regional Policy Statement. Delete certification process, and instead rezone the land in vicinity of Boys Road and Marshs Road, Rangiora, and to the west of the proposed Eastern Bypass, to General Residential Zone (GRZ) and Medium Density Residential Zone (MRZ) or alternatively rezone to GRZ, MRZ, business, format retail, mixed use, or a mix of these and rezone land north of Boys Road, Rangiora, and within the South East Rangiora Development Area to GRZ and such other parts of the West Rangiora, North Rangiora, and South East Rangiora Development Areas for urban development, in accordance with the relevant Outline Development Plans.	Section 6.2	Accept in part	Amendments to the certification process have been proposed	Yes
183.15	Richard and Geoff Spark	DEV-SER-APP1	Amend	Support in part 'Part 3 Area Specific Matters - New Development Areas - South East Rangiora'. Retain in part 'Part 3 Area Specific Matters - New Development Areas - South East Rangiora'.		Accept		
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Reject		
183.4	Richard and Geoff Spark		Amend	Amend UFD-P6 to delete reference to the certification process, and provide option for development capacity to be exceeded, not just met, in order to give effect to submitter's request to rezone land in vicinity of Boys Road and Marshs Road, Rangiora, and to the west of the proposed Eastern Bypass, to General Residential Zone (GRZ) and Medium Density Residential Zone (MRZ) or alternatively rezone to GRZ, MRZ, business, format retail, mixed use, or a mix of these and rezone land north of Boys Road, Rangiora, and within the South East Rangiora Development Area to GRZ. Amend UFD-P6: "The release of land within the identified new development areas of Kaiapoi, North East Rangiora and South East Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing bottom lines."	Section 6.2	Reject	The NPSUD does not require Councils to "exceed" short to medium term feasible development capacity	No

183.17	Richard and Geoff Spark			Oppose certification process for enabling urban development as it is uncertain, unproven, highly discretionary and slower than rezoning the land. Rezoning is both preferable and essential to give effect to the direction of higher order planning documents, including the National Policy Statement on Urban Development and the Canterbury Regional Policy Statement. Delete certification process, and instead rezone the land in vicinity of Boys Road and Marshs Road, Rangiora, and to the west of the proposed Eastern Bypass, to General Residential Zone (GRZ) and Medium Density Residential Zone (MRZ) or alternatively rezone to GRZ, MRZ, business, format retail, mixed use, or a mix of these and rezone land north of Boys Road, Rangiora, and within the South East Rangiora Development Area to GRZ and such other parts of the West Rangiora, North Rangiora, and South East Rangiora Development Areas for urban development, in accordance with the relevant Outline Development Plans.	Section 6.2	Accept in part	Amendments to the certification process have been proposed	Yes
183.18	Richard and Geoff Spark	UFD-P6	Amend	Amend UFD-P6 to delete reference to the certification process, and provide option for development capacity to be exceeded, not just met, in order to give effect to submitter's request to rezone land in vicinity of Boys Road and Marshs Road, Rangiora, and to the west of the proposed Eastern Bypass, to General Residential Zone (GRZ) and Medium Density Residential Zone (MRZ) or alternatively rezone to GRZ, MRZ, business, format retail, mixed use, or a mix of these and rezone land north of Boys Road, Rangiora, and within the South East Rangiora Development Area to GRZ. Amend UFD-P6: "The release of land within the identified new development areas of Kaiapoi, North East Rangiora and South East Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing bottom lines."	Section 6.2	Accept in part	UFD-P6 does not drive decision-making on certification, instead, certification is a pathway open for developers to apply.	No
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Reject		

195.111	Transpower New Zealand Limited	General	General	Does not oppose the Development Area provisions but seek that, where the National Grid is in, or traverses, an identified development area, the provisions recognise and provide for the National Grid in a manner that gives effect to the National Policy Statement on Electricity Transmission. It is noted that such an approach is consistent with Policy UFD-P10. Where the National Grid traverses any identified Development Area, include: - an Advisory Note that confirms that in all cases EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and SUB-R6 applies to subdivision in the National Grid Subdivision Corridor (as amended by this submission).	Section 6.3	Accept	Addressed in specific submissions for particular development areas.	No
195.112	Transpower New Zealand Limited	NWR - Northwest Rangiora	Amend	<p>Northwest Rangiora Development Area is traversed by National Grid transmission lines. The provisions do not acknowledge the transmission lines. The Outline Development Plan does not show the transmission lines and the 'advisory note', subject to interpretation, could result in development occurring in a manner that does not comply with Rules EI-R51, EI-R52 and EI-R53 that apply to activities in the National Grid Yard. These matters do not give effect to the National Policy Statement on Electricity Transmission (NPSET). Seek amendments to give effect to the NPSET and UFD-P10. Amend Development Area provisions to include the National Grid transmission lines and National Grid Yard on the Outline Development Plan (ODP).</p> <p>Include the following addition to the Advisory Note: "For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor."</p>	Section 6.4	Accept	Amend ODP to show transmission corridor and add advisory note	Yes

195.113	Transpower New Zealand Limited	SBK - Southbrook Development Area	Amend	Does not oppose the existing Southbrook Development Area, however concerned that the provisions or Outline Development Plan (ODP) do not acknowledge or show the National Grid transmission lines, and that the advisory note could result in development that does not comply with EI-R51, EI-R52 and EI-R53 that apply to activities in the National Grid Yard. The outcomes set out above do not give effect to the National Policy Statement on Electricity Transmission (NPSET), therefore amend the ODP and accompanying provisions to give effect to the NPSET and to be consistent with UFD-P10 managing reverse sensitivity effects from new development. Amend Southbrook Development Area provisions to include the National Grid transmission lines (and National Grid Yard) on the Outline Development Plan and include the following in the Advisory Note: "For the avoidance of doubt, where an Activity or Built Form Standard is in conflict with this ODP, the ODP shall substitute the provision, except that in all cases Energy and Infrastructure Rules EI-R51, EI-R52 and EI-R53 apply to all activities and structures in the National Grid Yard and Subdivision Rule SUB-R6 applies to subdivision in the National Grid Subdivision Corridor."	Section 6.12	Accept	Amend ODP to show transmission corridor and add advisory note	Yes
207.38	Summerset Retirement Villages (Rangiora) Ltd	DEV-SBT-R1	Amend	DEV-SBT-R1 is different from the rule applied through the decision on Plan Change 29 and subject to technical advice and thorough consideration through the plan change process. Amend DEV-SBT-R1: "1. As part of any subdivision, any residential allotment shall have a finished ground level that avoids inundation inrequired to achieve 400mm a 0.5% Annual Exceedance Probability combined rainfall and Ashley River/Rakahuri Breakout event."	Section 6.12	Accept	The provision has been amended to be consistent with recommendations on the Natural Hazard chapter provisions.	Yes
FS 88	FS Kainga Ora		Oppose			Accept		
207.39	Summerset Retirement Villages (Rangiora) Ltd	DEV-SBT-R2	Support	Support DEV-SBT-R2 as is consistent with the decision on Plan Change 29. Retain DEV-SBT-R2 as notified.	Section 6.12	Accept		
FS 88	FS Kainga Ora		Oppose			Reject		
207.40	Summerset Retirement Villages (Rangiora) Ltd	DEV-SBT-R2	Oppose	Amend DEV-SBT-R2 to achieve the same outcomes sought via comments on residential design principles and outdoor storage: Retirement villages should not be assessed using the same residential design principles as standard residential developments, and generally deal with outdoor storage and living needs in a different way. Amend DEV-SBT-R2: "...Matters of control are reserved to: RES-MDX - Retirement Village design principles"	Section 6.12	Reject	Unclear what relief the submitter is seeking	No
FS 88	FS Kainga Ora		Oppose			Accept		

207.41	Summerset Retirement Villages (Rangiora) Ltd	DEV-SBT-BFS1	Support	Support DEV-SBT-BFS1 as consistent with the decision on Plan Change 29. Retain DEV-SBT-BFS1 as notified.	Section 6.12	Accept		
FS 88	FS Kainga Ora		Oppose			Reject		
207.42	Summerset Retirement Villages (Rangiora) Ltd	DEV-SBT-BFS2	Support	Support DEV-SBT-BFS2 as consistent with the decision on Plan Change 29. Retain DEV-SBT-BFS2 as notified.	Section 6.12	Accept		
FS 88	FS Kainga Ora		Oppose			Reject		
208.2	Suburban Estates Limited, Chris Wilson, Nick Auld, John Wakeman, Jane and Mary Wakeman, Ann Deans, WK Wakeman Estate, Air Charter Queenstown	General	Oppose	Oppose certification process as it is unnecessary, uncertain, complex, and inflexible. The normal subdivision process is sufficient to achieve efficient development. Rezone submitter's land in northern portion of Kaiapoi Development Area (refer to map in Appendix 3 of original submission) from Rural Lifestyle Zone to General Residential Zone. Kaiapoi lacks sufficient land zoned for residential development with feasible development capacity to meet short-term and medium-term housing demand. The 'Our Space' process established that Kaiapoi had sufficient greenfield priority area land for only one year and required additional land immediately, and even with all the Future Development Area land would still fall short of feasible housing development land by 2031. The Proposed District Plan addresses these issues to some extent, but a restrictive approach to land supply is not justified. The National Policy Statement on Urban Development (2020), and its predecessor - National Policy Statement on Urban Development Capacity (2016) are both relevant and support this submission. Delete certification process, which is required to precede development in the Kaiapoi Development Area, and all related objectives, policies and rules.	Section 6.2	Reject	Both rezonings and certification are options under the Proposed District Plan for developers, and they are not contingent on each other	No
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Accept		

208.3	Suburban Estates Limited, Chris Wilson, Nick Auld, John Wakeman, Jane and Mary Wakeman, Ann Deans, WK Wakeman Estate, Air Charter Queenstown	UFD-P6	Amend	Seek amendment to UFD-P6 to support submitter's request to rezone their land in northern portion of Kaiapoi Development Area (refer to map in Appendix 3 of original submission) from Rural Lifestyle Zone to General Residential Zone. The certification process is unnecessary, uncertain, complex, and inflexible. The normal subdivision process is sufficient to achieve efficient development. Kaiapoi lacks sufficient land zoned for residential development with feasible development capacity to meet short-term and medium-term housing demand. The 'Our Space' process established that Kaiapoi had sufficient greenfield priority area land for only one year and required additional land immediately, and even with all the Future Development Area land would still fall short of feasible housing development land by 2031. The Proposed District Plan addresses these issues to some extent, but a restrictive approach to land supply is not justified. The National Policy Statement on Urban Development (2020), and its predecessor - National Policy Statement on Urban Development Capacity (2016), are both relevant and support this submission. Amend UFD-P6: "The development of land within identified new development areas of Kaiapoi, North East Rangiora and South East Rangiora occurs in an efficient and timely manner to enable residential activity to meet short to medium term feasible development capacity."	Section 6.2	Reject	UFD-P6 does not drive decision-making on certification or rezoning, and applications for either are considered on their merits	No
FS 80	FS Christchurch International Airport Ltd		Oppose			Accept		

213.2	Ruth and Bruno Zahner	General	Amend	The West Rangiora Development Area (WR) relies on a new, untested and highly discretionary certification process. Certification lapses within 3 years if the development is not completed, and the land is not rezoned until all land has been certified and developed. Rezone submitter's property at 70 Oxford Road and other land within WR to meet requirements of the National Policy Statement on Urban Development 2020, and there is a shortage of land for housing. Under the section "Land Use Plan", support minimum lot size of 500m2, but oppose minimum density of 15 households per ha applied to submitter's property due to constraint of the location of existing dwelling 10-12 lots per ha would be more appropriate. Under the section "Open Space and Stormwater Reserves" object to "The optimal location for a stormwater reserve to cater for the catchment of development north of Oxford Road, west of Brick Kiln Road in a comprehensive manner is at the south-eastern point within this area of land". This is not the optimal location as it is uncertain if and when that land will be developed. In comparison, submitter's intention is to make the land available immediately. Support the proposal for on-site smaller stormwater reserves, soak pits, swales and/or raingardens for the reasons outlined, i.e. fragmented property ownership and possible site by site development. Delete provisions relating to the certification process.	Section 6.2	Reject	Both certification and rezoning are parallel processes open to developers and are not contingent on each other.	No
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Accept		

213.3	Ruth and Bruno Zahner	Rangiora West Outline Development Plan - Open Space and Stormwater Reserve	Amend	The West Rangiora Development Area (WR) relies on a new, untested and highly discretionary certification process. Certification lapses within 3 years if the development is not completed, and the land is not rezoned until all land has been certified and developed. Rezone 70 Oxford Road and other land within WR to meet requirements of the National Policy Statement on Urban Development 2020, and there is a shortage of land for housing. Under the section "Land Use Plan", support minimum lot size of 500m2, but oppose minimum density of 15 households per ha applied to submitter's property due to constraint of the location of existing dwelling 10-12 lots per ha would be more appropriate. Under the section "Open Space and Stormwater Reserves" object to "The optimal location for a stormwater reserve to cater for the catchment of development north of Oxford Road, west of Brick Kiln Road in a comprehensive manner is at the south-eastern point within this area of land". This is not the optimal location as it is uncertain if and when that land will be developed. In comparison, submitter's intention is to make the land available immediately. Support the proposal for on-site smaller stormwater reserves, soak pits, swales and/or raingardens for the reasons outlined, i.e. fragmented property ownership and possible site by site development. Delete sentence in paragraph eight which refers to an optimal location for a stormwater reserve, as follows: "The optimal location for a stormwater reserve to cater for the catchment of development north of Oxford Road, west of Brick Kiln Road in a comprehensive manner is at the south-eastern point within this area of land".	Section 6.2	Reject	Both certification and rezoning are parallel processes open to developers and are not contingent on each other.	No
FS 110	FS Waka Kotahi		Oppose			Accept		

213.5	Ruth and Bruno Zahner	Rangiora West Outline Development Plan - Land Use	Amend	The West Rangiora Development Area (WR) relies on a new, untested and highly discretionary certification process. Certification lapses within 3 years if the development is not completed, and the land is not rezoned until all land has been certified and developed. Rezone 70 Oxford Road and other land within WR to meet requirements of the National Policy Statement on Urban Development 2020, and there is a shortage of land for housing. Under the section "Land Use Plan", support minimum lot size of 500m2, but oppose minimum density of 15 households per ha applied to submitter's property due to constraint of the location of existing dwelling 10-12 lots per ha would be more appropriate. Under the section "Open Space and Stormwater Reserves" object to "The optimal location for a stormwater reserve to cater for the catchment of development north of Oxford Road, west of Brick Kiln Road in a comprehensive manner is at the south-eastern point within this area of land". This is not the optimal location as it is uncertain if and when that land will be developed. In comparison, submitter's intention is to make the land available immediately. Support the proposal for on-site smaller stormwater reserves, soak pits, swales and/or raingardens for the reasons outlined, i.e. fragmented property ownership and possible site by site development. Amend relevant provisions relating to identified constraints to development (ie. existing dwelling) to include existing dwellings as one of the identified constraints, allowing for a density of 12 households per ha.	Section 6.2	Reject	Both certification and rezoning are parallel processes open to developers and are not contingent on each other.	No
FS 110	FS Waka Kotahi		Oppose			Accept		

223.15	John and Coral Broughton	DEV-WR-APP1	Amend	<p>Amend the DEV-WR-APP1 - West Rangiora Outline Development Plan, in order to enable the submitter's request to rezone 113 and 117 Townsend Road, Rangiora, which are part of the West Rangiora Development Area, from Rural Lifestyle Zone to General Residential Zone (GRZ) and Medium Density Residential Zone (preferred), or amend the Residential Zone provisions to provide for medium density residential development in the GRZ. Amend the DEV-WR-APP1 - West Rangiora Outline Development Plan (ODP) as below or amend but delete all medium density areas and discuss potentially suitable locations in the ODP narrative, not on the ODP (refer to full submission for amended ODP):</p> <p>"Land Use Plan</p> <p>The Outline Development Plan for the West Rangiora Development Area provides for a variety of site sizes, including some medium density residential activity. Appropriate locations will be determined at subdivision design stage. Suitable locations may include overlooking open space/green corridors and reserves in proximity to reserves, existing or planned future public transport routes and/or local centres. Small clusters are likely to be suitable throughout the ODP area., with medium density residential activity located along a key north/south primary road connection and along Johns and Oxford Roads, as these are suitable to have public transport links and associated higher amenity areas. Locating medium density residential activity along these maximises opportunities for alternative transport, including walking and cycling, to local amenity and services. The location of a concentration of medium density residential activity, at a minimum ratio of 70% medium density and a maximum of 30% general density, at either side of this primary road as shown in the Outline Development Plan is therefore fixed. The Medium Density Residential Zone enables a minimum lot size of 200m2 while the General Residential Zone enables a minimum lot size of 500m2. Overall, the West Rangiora Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case an exemption shall apply.no less than 12 households per ha shall be achieved.</p> <p>A neighbourhood/local centre, shown in the Outline</p>	Section 6.17	Accept in part		No
--------	--------------------------	-------------	-------	---	--------------	----------------	--	----

			<p>Development Plan as commercial/business, is located at the juncture of the north/south primary road and Oxford Road, to which the medium density residential activity in this vicinity connects well.</p> <p>...</p> <p>Land near the Southbrook Stream at the south of the Development Area is likely to be affected by Ashley River/Rakahuri flooding in a 1 in 200-year localised flooding and Ashley River/Rakahuri breakout event.</p> <p>Raised floor levels are likely to be required. Feasibility of residential development in this area is going to be more challenging as a result.</p> <p>...</p> <p>For water, wastewater and stormwater servicing reasons, staging of development from the south to the north is preferable, except where initial development can be serviced through a temporary commitment of existing infrastructure capacity. Development within the West Rangiora Development Area is to be contiguous. The Outline Development Plan does not anticipate physically separated or ad-hoc development."</p> <p>Movement Network</p> <p>...The layout of additional tertiary roads to service the residential areas will respond to detailed subdivision design of those areas. However, the ODP needs to ensure that as far as possible, roading connections are provided for which enable landowners to develop independently of other neighbouring landowners. In some cases, this may require the Council to take land for roading to facilitate roading links...</p> <p>A key movement network feature for the West Rangiora Development Area is a main north/south primary road parallel to Lehmans Road through the centre of the growth area that intersects with Oxford Road in the north of the Development Area and curves to meet Townsend Road in the southeast of the Development Area. This north/south primary road provides structure, connectivity and a high amenity corridor. A green corridor conducive to walking and cycling adjoins it on one side. Some , and medium density residential activity sleeves it, alongside it may be appropriate, but to a limited extent given the potential conflict with on street parking and the through road function, and potential shading issues given the northsouth orientation. which is also located along</p>				
--	--	--	---	--	--	--	--

			<p>Johns Road, as these have public transport links and maximise the proportion of residents accessing high amenity and connectivity areas. This primary road will be designed to promote reduced vehicle speeds and increased safety to other street users. Intersection treatment and/or upgrades need to be considered at the main intersections of the north/south primary road and Oxford/Johns Roads to reduce traffic speeds and enhance safety.</p> <p>East/west movement patterns, largely through a number of secondary roads, provide subdivision structure, are integrated with existing roading connections east of the Development Area, and reflect intentions signalled through current Outline Development Plans for adjacent zoned land in the south-eastern portion of the Development Area to connect to Townsend Road and further to Pentecost Road. Secondary roads generally assume a form which is of a more residential nature and cater less to through vehicle traffic. Critical road connections are shown on the ODP to facilitate this. Te Matauru Primary School is located at the juncture of Pentecost Road and Johns Road and the anticipated movement network connects the residential growth area to the school well.</p> <p>...</p> <p>Open Space and Stormwater Reserves</p> <p>...</p> <p>A network of stormwater reserves are identified for the West Rangiora Development Area to respond to separate stormwater catchments: immediately north of Johns Road, and at the south and south-eastern points of the Development Area. The southern stormwater reserve east of Lehman's Road is proposed to be constructed in the Ashley River breakout zone, as this land would not be particularly suitable for the construction of residential dwellings. The ground in this area is known to have relatively high groundwater and therefore it is assumed this would need to be a wet basin. The south-eastern stormwater reserve west off Townsend Road, already constructed for the Townsend Fields development, are all wet basins which have allowances for conveyance of spring water. An additional stormwater management area nearby will accommodate stormwater flows arising from</p>				
--	--	--	---	--	--	--	--

				<p>development of adjoining land to the west. The optimal location for a stormwater reserve to cater for the catchment of development north of Oxford Road, west of Brick Kiln Road in a comprehensive manner is at the south-eastern point within this area of land. However, fragmented property ownership within the Development Area north of Oxford Road and consequently, a possibly site by site development pattern may dictate alternative stormwater management solutions, such as the use of on-site smaller (temporary or otherwise) stormwater reserves, soak pits, swales and/or raingardens. Therefore, stormwater management must be investigated and considered by individual landowners in reference to neighbouring development opportunities and servicing implications in order to achieve, as much as possible, an integrated solution.</p> <p>...</p> <p>Fixed Outline Development Plan Features for the West Rangiora Development Area: Location of a concentration of medium density residential activity (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) immediately adjoining the new north/south road Location of the local/neighbourhood centre at the juncture of Oxford Road and the north/south road Green link with cycleway adjoining the north/south road</p> <p>...</p> <p>Delete all provisions relating to the certification process and apply the appropriate residential and other zones, and the means to bring land to the market through an Resource Management Act 1991 process."</p>				
--	--	--	--	--	--	--	--	--

223.5	John and Coral Broughton	UFD-P6	Amend	<p>Amend UFD-P6 in order to enable to submitter's request to rezone 113 and 117 Townsend Road, Rangiora from Rural Lifestyle Zone to General Residential Zone and Medium Density Residential Zone. Considers rezoning is both appropriate and necessary to achieve sustainable growth and development of Rangiora and meet the requirements of the National Policy Statement on Urban Development (NPS-UD).The proposed rezoning is consistent with the Proposed District Plan's objectives and policies, except those relating to Strategic Directions Urban Form and Development and Urban Growth which are already out of step with higher order Resource Management Act 1991 (RMA) statutory documents because they do not give effect to the NPS-UD (and are sought to be amended through this submission).Amend UFD-P6: "The release of land within the identified new development areas of Kaiapoi, West Rangiora, North East Rangiora and South East Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing bottom lines." Any further or alternative amendments to the Proposed District Plan to be consistent with and give effect to the intent of this submission and the interests of the submitter, including any changes necessary to give effect to the Enabling Housing Supply and Other Matters Resource Management Amendment Act (when it comes into force), including rezoning other parts of the West Rangiora Outline Development Plan area to deliver medium density housing.</p>	Section 6.2	Reject	Amendments to UFD-P6 are not required in order to rezone land	No
-------	--------------------------	--------	-------	--	-------------	--------	---	----

236.7	Rick Allaway and Lionel Larsen	UFD-P6	Amend	<p>Seek amendment to UFD-P6 to help enable the submitter's preferred request to rezone 181, 201, 255, 257, 259, 261, 263, 265, 267, 271, 285, 305, 311, and 315 Lehmans Rd, Fernside ("the site") from Rural Lifestyle Zone (RLZ) to Large Lot Residential Zone (LLRZ) with net site area density partly 1000m2 minimum with 1500m2 minimum average and partly 2500m2 minimum with 5000m2 minimum average, along with some higher density residential development or the submitter's alternative request to rezone the site Low Density Residential Zone or General Residential Zone (GRZ) or LLRZ (either LLRZ density standards or net site area density partly 1000m2 minimum with 1500m2 minimum average and partly 2500m2 minimum with 5000m2 minimum average), Low Density Residential Zone (1000m2 minimum and 1500m2 minimum average), or GRZ, along with some higher density residential development. This will provide a new housing typology, and adjacent to an urban area. It is necessary to achieve sustainable growth, and meet National Policy Statement for Urban Development (NPS-UD) requirements. The current approach is not flexible or responsive to innovative development, and has cost, timeframe and certainty barriers. Allocating development areas does not align with NPS-UD direction to provide land, encourage housing innovation, and provide for a range of housing needs. A comprehensive and coordinated low density, high quality residential environment cannot be developed in the District's towns, RLZ, or Settlement Zone as a permitted activity. The National Planning Standards provide for large lot urban residential however the Proposed District Plan does not provide this, likely due to the Canterbury Regional Policy Statement limiting lower density residential living to 1-2 households per hectare. There is demand for generous sized lots close to amenities, which can shape and edge urban areas and provide different yet complementary amenity. Amend UFD-P6: "The release of land within the identified new development areas of Kaiapoi, West Rangiora, North East Rangiora and South East Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing bottom lines."</p>	Section 6.2	Reject	Amendments to UFD-P6 are not required in order to rezone land	No
-------	--------------------------------	--------	-------	--	-------------	--------	---	----

242.14	Dalkeith Holdings Ltd	General	Oppose	<p>Oppose certification process for delivering land for housing within New Development Areas, including West Rangiora. Given the acute housing need and escalating prices partly driven by supply shortage, Council must act quickly and with certainty to address the shortfall. Now is not the time to be testing a new, uncertain, and unproven method for delivering land for housing. Rezoning is quicker and more certain. Under the National Policy Statement on Urban Development, Council must provide at least sufficient development capacity to meet expected demand, and medium term must be zoned and infrastructure ready. Certification is contrary to Policy 6.3.12 of the Canterbury Regional Policy Statement which refers to demonstrating a need to provide further feasible development capacity through zoning additional land to address a shortfall. Certification is highly discretionary, does not give the applicant objection or appeal rights, and decision-making may not be transparently documented. Certification lapses if a Section 224(c) (Resource Management Act 1991) subdivision completion certificate is not granted within three years. Rezoning does not follow certification, and only occurs when an entire development area is rezoned, which may not be within the Proposed District Plan's life. The ability to meet the subdivision completion requirement by completing a smaller subdivision is not suitable as the subdivision would be hardly underway, yet services would be allocated to potentially a significant area indefinitely, which may prejudice others subdividing if there are servicing capacity constraints. There is a lack of clarity about how services are allocated between different certification applicants (e.g. first come, first served basis, or priority for favoured areas). Certification rules will not take effect until Council decisions are issued, and later if the provisions are appealed. The information and design details required mean the process could take at least 1- 2 years. Seek Council apply the appropriate residential and other zones and the means to bring land to the market through an Resource Management Act 1991 process. The land within the Development Areas is required to be rezoned to meet the requirements of the National Policy Statement on Urban Development 2020.</p>	Section 6.2	Reject	Both rezonings and certification are options under the Proposed District Plan	No
--------	-----------------------	---------	--------	---	-------------	--------	---	----

242.5	Dalkeith Holdings Ltd	UFD-P6	Amend	<p>Amend UFD-P6 to include West Rangiora, delete reference to the certification process, and provide option for development capacity to be exceeded, not just met, to enable the submitter's request to rezone 63 Oxford Road and 212 Johns Road, Rangiora for residential development, which would accommodate approximately 297 General Residential Zone lots and contribute to Rangiora's sustainable growth. Rezoning this land is consistent with the growth direction for Rangiora set out in the Proposed District Plan and Canterbury Regional Policy Statement (CRPS) (site is within a Future Development Area (FDA) on Map A of CRPS). It would give effect to the National Policy Statement on Urban Development and Change 1 of the CRPS. There are no resource management reasons precluding the site from rezoning. It is the most appropriate outcome, particularly given the removal of statutory planning barriers, and the vacant residential land shortfall causing high demand and increasing house prices. Submissions promoting rezoning within FDAs are an immediate opportunity to bridge this shortfall in the medium term, and early part of the long term. Rangiora has approximately four years vacant land supply there is urgency to provide additional capacity given it takes 3-5 years to convert zoned land into developed lots. Further feasible development capacity through zoning is needed to address a shortfall in the sufficiency of feasible residential development capacity to meet the medium-term targets. Amend UFD-P6: "Mechanism to release Residential Development Areas The release of land within the identified new development areas of Kaiapoi, West Rangiora, North East Rangiora and South East Rangiora occurs in an efficient and timely manner via a certification process to that enables residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing"</p>	Section 6.2	Reject	Amendments to UFD-P6 are not required in order to rezone land	No
-------	-----------------------	--------	-------	--	-------------	--------	---	----

246.16	Miranda Hales	General	Amend	<p>Oppose certification process for delivering land for housing within the New Development Areas, including at West Rangiora. Council must act quickly and with certainty to address the shortfall in housing supply, which is escalating prices. It is not the time to test a new, uncertain, and unproven method for delivering housing land. Rezoning is quicker and more certain. Under the National Policy Statement on Urban Development, Council must provide at least sufficient development capacity to meet demand, and development capacity for the medium term must be zoned and infrastructure ready. The certification process is contrary to Policy 6.3.12 of the Canterbury Regional Policy Statement which refers to demonstrating a need to provide further feasible development capacity through the rezoning to address a shortfall. The certification process is highly discretionary, does not give the applicant objection or appeal rights, and the decision-making process may not be transparently documented. Certification lapses if a Section 224(c) (Resource Management Act 1991) subdivision completion certification is not granted within three years of certification. Rezoning would only occur when the entire West Rangiora Development Area is rezoned, which may not be within the life of the Proposed District Plan. The ability to meet the subdivision 'completion' requirement by completing a smaller subdivision is not suitable as the subdivision would be hardly underway, yet services would be allocated to potentially a significant area indefinitely, which may prejudice other subdividers if there are servicing capacity constraints. There is a lack of clarity about how services will be allocated between different certification applicants (i.e. first come, first served, or priority for favoured areas). The certification rules take effect once decisions are issued, and later if subject to appeal. The substantial information and design detail requirements mean the process could take 1- 2 years or more. Rezone 126 Lehmans Rd, Fernside, Pt RS 48562, to General Residential Zone and Medium Density Residential Zone. Or, as a less preferred alternative, retain proposed Rural Lifestyle zoning but address concerns with the certification process so it is a fair, equitable, transparent, appealable, efficient and fast process for delivering land for housing.</p>	Section 6.2	Accept in part	Amendments to the certification process have been proposed	Yes
--------	---------------	---------	-------	---	-------------	----------------	--	-----

246.2	Miranda Hales	Appendix	Amend	<p>Delete all medium density areas from the DEV-WR-APP1 - West Rangiora Outline Development Plan and instead discussion of potentially suitable locations within the Outline Development Plan narrative, in order to give effect to submitter's request to rezone 126 Lehmans Rd, Fernside for residential development. The site is included as a Future Development Area on Map A of the Canterbury Regional Policy Statement (CRPS), which are intended to accommodate increased demand for new dwellings, and respond to the National Policy Statement on Urban Development 2020 (NPS-UD). Rezoning this land for residential would be consistent with the growth direction for Rangiora set out in the CRPS and Proposed District Plan, and give effect to Change 1 of the CRPS and the NPS-UD, and address the shortfall of vacant residential land by accommodating approximately 70 lots. Amend DEV-WR-APP1 - West Rangiora Outline Development Plan by deleting all medium density areas and discuss potentially suitable locations in the Outline Development Plan narrative, not on the Outline Development Plan: "Land Use Plan". The Outline Development Plan for the West Rangiora Development Area provides for a variety of site sizes, including some medium density residential activity. Appropriate locations will be determined at subdivision design stage. Suitable locations may include overlooking open space/green corridors and reserves in proximity to reserves, existing or planned future public transport routes and/or local centres. Small clusters are likely to be suitable throughout the ODP area., with medium density residential activity located along a key north/south primary road connection and along Johns and Oxford Roads, as these are suitable to have public transport links and associated higher amenity areas. Locating medium density residential activity along these maximises opportunities for alternative transport, including walking and cycling, to local amenity and services. The location of a concentration of medium density residential activity, at a minimum ratio of 70% medium density and a maximum of 30% general density, at either side of this primary road as shown in the Outline Development Plan is therefore fixed. The Medium Density Residential Zone enables a minimum lot size of 200m² while the General Residential Zone enables a minimum lot size of 500m². Overall, the West Rangiora Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified</p>	Section 6.17	Reject	Rezoning, including certifications, must occur in accordance with an ODP. The deletion of the medium density parts of the West Rangiora Outline Development Plan would not assist in rezoning 126 Lehmans Road.	No
-------	---------------	----------	-------	---	--------------	--------	---	----

				constraints to development, in which case an exemption shall apply. no less than 12 households per ha shall be achieved.For water, wastewater and stormwater servicing reasons, staging of development from the south to the north is preferable, except where initial development can be serviced through a temporary commitment of existing infrastructure capacity. Development within the West Rangiora Development Area is to be contiguous. The Outline Development Plan does not anticipate physically separated or ad-hoc development...Fixed Outline Development Plan Features for the West Rangiora Development Area:Location of a concentration of medium density residential activity (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) immediately adjoining the new north/south road..."				
246.6	Miranda Hales	UFD-P6	Amend	Amend UFD-P6 to include West Rangiora, delete reference to the certification process, and provide option for development capacity to be exceeded, not just met, in order to give effect to submitter's request to rezone 126 Lehmans Rd, Fernside for residential development.The site is included as a Future Development Area on Map A of the Canterbury Regional Policy Statement (CRPS), which are intended to accommodate increased demand for new dwellings, and respond to the National Policy Statement on Urban Development 2020 (NPS-UD). Rezoning this land for residential would be consistent with the growth direction for Rangiora set out in the CRPS and Proposed District Plan, and give effect to Change 1 of the CRPS and the NPS-UD, and address the shortfall of vacant residential land by accommodating approximately 70 lots.Amend UFD-P6"The release of land within the identified new development areas of Kaiapoi, West Rangiora, North East Rangiora and South East Rangiora occurs in an efficient and timely	Section 6.2	Reject	The existence of certification does not prevent rezonings from occurring within West Rangiora, including at 126 Lehmans Road.	No

				manner via a certification process to that enables residential activity to meet or exceed short to medium-term feasible development capacity and achievement of housing.”				
FS 89	FS Michael and Jean Schluter		Support			Reject		
250.4	Survus Consultants Limited	General	Oppose	Seek West Rangiora Development Area to be rezoned for urban development in order to achieve sustainable growth and development of the District, meet the requirements of the National Policy Statement on Urban Development 2020, and achieve the purpose of the Resource Management Act 1991.Rezone West Rangiora Development Area for urban development (General Residential Zone, or other appropriate zoning).	Section 6.17	Reallocated to rezoning hearing report		
250.5	Survus Consultants Limited	General	Oppose	Seek North East Rangiora Development Area to be rezoned for urban development in order to achieve sustainable growth and development of the District, meet the requirements of the National Policy Statement on Urban Development 2020, and achieve the purpose of the Resource Management Act 1991.Rezone North East Rangiora Development Area for urban development (General Residential Zone, or other appropriate zoning).	Section 6.18	Reallocated to rezoning hearing report		
250.6	Survus Consultants Limited	General	Oppose	Seek South East Rangiora Development Area to be rezoned for urban development in order to achieve sustainable growth and development of the District, meet the requirements of the National Policy Statement on Urban Development 2020, and achieve the purpose of the Resource Management Act 1991.Rezone South East Rangiora Development Area for urban development (General Residential Zone, or other appropriate zoning).	Section 6.20	Reallocated to rezoning hearing report		

250.7	Survus Consultants Limited	General	Oppose	Seek Kaiapoi Development Area to be rezoned for urban development in order to achieve sustainable growth and development of the District, meet the requirements of the National Policy Statement on Urban Development 2020, and achieve the purpose of the Resource Management Act 1991. Rezone Kaiapoi Development Area for urban development (General Residential Zone, or other appropriate zoning).	Section 6.19	Reallocated to rezoning hearing report		
258.1	Malcolm Grant and Wendy Joyce Rowse	General	Amend	Acknowledge the intersection at 63 Eders Road, Woodend is not aligned primarily as a result of the councils 2007 commitment that the proposed north/south road in the East Woodend development area follows property boundaries. The burden of realigning the intersection is being placed on 63 Eders Rd only, however it affects 63 and 78 Eders Road which are both undeveloped and should share alignment to create a manageable intersection. Realign the last few metres of the proposed road on both 63 and 78 Eders Road where they meet Eders Rd.	Section 6.13	Accept in part		No
258.2	Malcolm Grant and Wendy Joyce Rowse	General	Support	Accept the layout of the proposed north-south road through 63 Eders Rd, Woodend as shown on Outline Development Plan Map 153. This road is to be 16m wide and runs along the eastern boundary adjacent to 73 Eders Rd in accordance with Council's proposal from 4 May 2009. Do not alter, amend, or realign the proposed road, or in any way deviate from the agreement reached in 2009.	Section 6.13	Accept in part		No
266.10	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd - Claire McKeever	DEV-WR-O1	Support	Support DEV-WR-P1. The development area and certification process is appropriate for future development as it will help provide for residential demand in the medium term (3-10 years) in West Rangiora especially for sites where landowners are not as prepared to develop in the short term. Retain DEV-WR-P1 as notified.	Section 6.17	Accept		No
266.11	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd - Claire McKeever	DEV-WR-P1	Support	Support DEV-WR-P2. The development area and certification process is appropriate for future development as it will help provide for residential demand in the medium term (3-10 years) in West Rangiora especially for sites where landowners are not as prepared to develop in the short term. Retain DEV-WR-P2 as notified.	Section 6.17	Accept		No

266.12	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd	DEV-WR-P2	Support	Support DEV-WR-S1, however processing timeframes are not mentioned. Following certification, subdivision consent is required, which lasts for 5 years. The proposed three year lapsing period for certification approval creates a timing anomaly in terms of the subdivision's Section 224(c) certificate. Suggest amendment of DEV-WR-S1(2) to resolve this. Amend DEV-WR-S1(2) to resolve issue of the proposed three year lapsing period for certification approval creating a timing anomaly in terms of the subdivision's Section 224(c) certificate.	Section 6.17	Accept		No
266.13	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd	DEV-WR-S1	Support	Amend UFD-P6 to include West Rangiora in the certification process. Amend UFD-P6:"The release of land within the identified new development areas of Kaiapoi, North East Rangiora and, South East Rangiora and West Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet short to medium-term feasible development capacity and achievement of housing bottom lines."	Section 6.17	Reject	The existence of certification does not prevent rezonings from occurring within West Rangiora	No
FS 46	FS Miranda Hales		Support			Reject		
FS 89	FS Michael and Jean Schluter		Support			Reject		
266.14	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd	UFD-P6	Amend	Amend UFD-P6 to include West Rangiora in the certification process. Amend UFD-P6: "The release of land within the identified new development areas of Kaiapoi, North East Rangiora and, South East Rangiora and West Rangiora occurs in an efficient and timely manner via a certification process to enable residential activity to meet short to medium-term feasible development capacity and achievement of housing bottom lines."	Section 6.2	Reject	The existence of certification does not prevent rezonings from occurring within West Rangiora	No
266.2	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd	General	Amend	Seek 163, 191, 199 and 203 Johns Road, Rangiora become 'South West Rangiora Development Area' with an Outline Development Plan (ODP) (refer to Appendix A) and new provisions (refer to Appendix I). This would be consistent and easily integrated with the ODP for West Rangiora Development Area (refer to Appendix H), therefore providing for a long-term well-functioning environment. Seek 163, 191, 199 and 203 Johns Road, Rangiora become zoned 'South West Rangiora Development Area' with an Outline Development Plan (refer to Appendix A of submission) and new provisions (refer to Appendix I of submission).	Section 6.17	Accept in part	I consider that the integration has already occurred, with the WR ODP now extending into the parcels of land in their submission. However, I am open to further updates to the ODP based on evidence presented at either the FUDA or rezoning hearings.	No

275.83	Waka Kotahi NZ Transport Agency	General	Amend	Greenfield development within the Northwest Rangiora Development Area outside of the Projected Infrastructure Boundary is likely to encourage the use of private vehicle use, proposed pedestrian and cycle connections are limited and no public transport connections are identified. Amend Outline Development Plan to include better cycle and pedestrian connections.	Section 6.4	Accept		No
275.84	Waka Kotahi NZ Transport Agency	General	Support	The South Belt Development Area is located within the Projected Infrastructure Boundary and further residential development is anticipated in this location by the Greater Christchurch partnership. Retain South Belt Development Area as notified.	Section 6.5	Accept		No
275.85	Waka Kotahi NZ Transport Agency	KLFR - Kaiapoi LFR Development Area	Support	West Kaiapoi Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. Retain West Kaiapoi Development Area as notified.	Section 6.8	Accept		No
275.86	Waka Kotahi NZ Transport Agency	OHOK - Bradleys Road Ohoka Development Area	Support	Kaiapoi Large Format Retail Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. Retain Kaiapoi Large Format Retail Development Area as notified.	Section 6.6	Accept		No
275.87	Waka Kotahi NZ Transport Agency	General	Support	While Bradleys Road Ohoka Development Area is located outside of the Projected Infrastructure Boundary it has previously been identified for further development. Retain Bradleys Road Ohoka Development Area as notified.	Section 6.7	Accept		No
275.88	Waka Kotahi NZ Transport Agency	General	Support	East Kaiapoi Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. Retain East Kaiapoi Development Area as notified.	Section 6.9	Accept		No
275.89	Waka Kotahi NZ Transport Agency	General	Support	While Mill Road Development Area is located outside of the Projected Infrastructure Boundary, it is has previously been identified for future development. Retain Mill Road Development Area as notified. Residential Zone (and the potential to increase this area).	Section 6.10	Accept		No
275.90	Waka Kotahi NZ Transport Agency	General	Support	North Woodend Development Area is located outside of the Projected Infrastructure Boundary. Retain North Woodend Development Area as notified.	Section 6.11	Accept		No
275.91	Waka Kotahi NZ Transport Agency	General	Support	Southbrook Development Area is outside of the Projected Infrastructure Boundary. It is a rollover from the Operative District Plan and provisions in the Transport Chapter can manage access to the state highway, however SH71 is a Limited Access Road and any new access will require separate approval from Waka Kotahi. Retain Southbrook Development Area as notified.	Section 6.12	Accept		No

275.92	Waka Kotahi NZ Transport Agency	General	Support	While the eastern part of the East Woodend Development Area is located within the Projected Infrastructure Boundary and is a logical extension, the remaining part is not immediately adjoined to other rural zones and therefore, pedestrian and cycle connections may not be frequently used. Further consideration is given to intensification of this area.	Section 6.13	Accept in part	Evidence on this may be presented at the rezoning hearings, meaning that any amendments to the ODP should wait until after the rezoning hearings	No
275.93	Waka Kotahi NZ Transport Agency	General	Amend	DEV-MPH-R1 refers to access from State Highway 1, however, there is no access from the Mapleham Development Area (existing or proposed). This may be a drafting error and instead of State Highway 1 should refer to Pegasus Boulevard. Amend DEV-MPH-R1: Access to State Highway 1 Pegasus Boulevard from the DEV-MPH-APP1 area shall be limited to the two locations (Mapleham Drive) as shown on DEV-MPH-APP1, provided that: ... 2. the access road located near the southern boundary of the zone shall serve all other sites in the zone and shall adjoin the common boundary of the adjacent property to the south for a minimum distance of 30m from State Highway 1 Pegasus Boulevard into the zone.	Section 6.14	Accept in part	DEV-MPH-R1(3) does not relate to connections to SH1, it is to ensure that the access road within the MPH area is a minimum distance from SH1	Yes
275.94	Waka Kotahi NZ Transport Agency	General	Support	North Rangiora Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. Retain North Rangiora Development Area as notified.	Section 6.15	Accept		No
275.95	Waka Kotahi NZ Transport Agency	General	Support	Pegasus Township Development Area is located within the Projected Infrastructure Boundary and is considered appropriate. Retain Pegasus Township Development Area as notified.	Section 6.16	Accept		No
275.96	Waka Kotahi NZ Transport Agency	General	Support	Support the inclusion of a Medium Density Residential Zone in the West Rangiora Development Area, however further consideration could be given to increasing the size of this zone to encourage densification. Further consider the area zoned Medium Density Residential Zone (and the potential to increase this area).	Section 6.17	Accept		No
275.97	Waka Kotahi NZ Transport Agency	General	Support	Support the inclusion of a Medium Density Residential Zone within the North East Rangiora Development Area, however further consideration could be given to increasing the size of this zone to encourage densification and better multi-modal and public transport connections to meet UFD-P2. Further consider the area zoned Medium Density Residential Zone (and the potential to increase this area) and incorporate better multi-modal and public transport connections to better reflect UFD-P2.	Section 6.18	Accept		No

275.98	Waka Kotahi NZ Transport Agency	General	Support	Support the inclusion of a Medium Density Residential Zone within the South East Rangiora Development Area, however further consideration could be given to increasing the size of this zone to encourage densification as the land proposed to be zoned Medium Density is limited. Note the Outline Development Plan shows good cycleway connections to wider Rangiora township. Consider potential to increase the area zoned Medium Density Residential Zone.	Section 6.20	Accept in part		No
275.99	Waka Kotahi NZ Transport Agency	General	Support	Support the inclusion of a Medium Density Residential Zone within the Kaiapoi Development Area, however further consideration could be given to increasing the size of this zone to encourage densification as the land proposed to be zoned Medium Density is limited. Seek further consideration of connections for active transport modes to reduce private vehicle reliance, including connections to the existing bus stops (park and ride locations) in Kaiapoi. Further consider the area zoned Medium Density Residential Zone (and the potential to increase this area) and incorporate better multi-modal and public transport connections to better reflect UFD-P2.	Section 6.19	Accept in part		No
277.65	Ministry of Education	General	Neutral	Recognise the intent of Development Areas. Development Areas and use of Outline Development Plans setting out general patterns of residential development will assist in determining if there is sufficient capacity in current and/or planned educational facilities. However further clarification needed on how the process will be undertaken to understand potential effects on educational facilities. Also seek confirmation that the public engagement process is not foregone. Provide further clarification on how the process will be undertaken to fully understand the potential effects on educational facilities. Confirm the public engagement process is not foregone.	Section 6.3	Accept in part	The proposed changes to the certification process enable limited or public notification of certification consents	No
277.66	Ministry of Education	DEV-MILL-BFS3	Amend	There is no Area C on the Outline Development Plan. Clarify where building restriction Area C is.	Section 6.10	Accept	Change proposed ODP to incorporate Area C from operative ODP	Yes

277.67	Ministry of Education	General	Neutral	<p>Recognise the intent of directing growth to New Development Areas and a certification process and managing growth in this way. The Development areas and use of Outline Development Plans setting out the general patterns of residential development will assist determining if there is sufficient capacity in current and/or planned educational facilities.</p> <p>Also recognise intent of certification process to simplify consenting process, however provisions for this in each development area are unclear, complex and ambiguous and potentially makes an assessment of the process and future development on educational facilities difficult. Seek clarification on how the process will be undertaken, including future engagement with the public and stakeholders. Review the objectives, policies, rules and standards framework in each new development area to ensure they are clear in their intent, particularly as it relates to the certification process and how this is undertaken.</p>	Section 6.3	Accept in part	The proposed changes to the certification process enable limited or public notification of certification consents	No
277.68	Ministry of Education	DEV-WR-P2	Neutral	<p>There are inconsistencies and uncertainty regarding which policies different development areas have to be consistent with. West Rangiora (WR), South East Rangiora (SER) and Kaiapoi (K) development areas reference the General Residential Zone, Local Centre Zone and relevant District wide provisions, whereas North East Rangiora (NER) references the Medium Density Residential Zone, Local Centre Zone and relevant District wide provisions. However, the Outline Development Plan (ODP) for NER also features General Residential Zones, and WR, SER and K also feature medium density activities. All new development areas have a variety of zones indicated in their ODPs and presumably all subdivision and activities should be in accordance with the objectives, policies, and rules of each respective zone. Therefore, each zone should be noted in each policy. Address the inconsistencies and ambiguity across and within DEV-WR-P2, DEV-NER-P2, DEV-SER-P2 and DEV-K-P2.</p>	Section 6.17	Accept in part	Inconsistencies have been rectified	Yes

277.69	Ministry of Education	DEV-NER-P2	Neutral	There are inconsistencies and uncertainty regarding which policies different development areas have to be consistent with. West Rangiora (WR), South East Rangiora (SER) and Kaiapoi (K) development areas reference the General Residential Zone, Local Centre Zone and relevant District wide provisions, whereas North East Rangiora (NER) references the Medium Density Residential Zone, Local Centre Zone and relevant District wide provisions. However, the Outline Development Plan (ODP) for NER also features General Residential Zones, and WR, SER and K also feature medium density activities. All new development areas have a variety of zones indicated in their ODPs and presumably all subdivision and activities should be in accordance with the objectives, policies, and rules of each respective zone. Therefore, each zone should be noted in each policy. Address the inconsistencies and ambiguity across and within DEV-WR-P2, DEV-NER-P2, DEV-SER-P2 and DEV-K-P2	Section 6.18	Accept in part	Inconsistencies have been rectified	Yes
277.70	Ministry of Education	DEV-SER-P2	Neutral	There are inconsistencies and uncertainty regarding which policies different development areas have to be consistent with. West Rangiora (WR), South East Rangiora (SER) and Kaiapoi (K) development areas reference the General Residential Zone, Local Centre Zone and relevant District wide provisions, whereas North East Rangiora (NER) references the Medium Density Residential Zone, Local Centre Zone and relevant District wide provisions. However, the Outline Development Plan (ODP) for NER also features General Residential Zones, and WR, SER and K also feature medium density activities. All new development areas have a variety of zones indicated in their ODPs and presumably all subdivision and activities should be in accordance with the objectives, policies, and rules of each respective zone. Therefore, each zone should be noted in each policy. Address the inconsistencies and ambiguity across and within DEV-WR-P2, DEV-NER-P2, DEV-SER-P2 and DEV-K-P2	Section 6.20	Accept in part	Inconsistencies have been rectified	Yes

277.71	Ministry of Education	DEV-K-P2	Neutral	Neutral on the use of a certification process for development in West Rangiora Development Area. However, if this process is to be used provision needs to be given to effects of development in the area on educational facilities. This matter has also been previously discussed with and supported by Council planners.Amend DEV-WR-S1:"1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the West Rangiora Development Area:...i. There is sufficient capacity in current and/or planned educational facilities for the increase in student population due to development and assessment of any other potential impacts of the development on educational facilities has been undertaken."	Section 6.19	Accept in part	Inconsistencies have been rectified	Yes
277.72	Ministry of Education	DEV-WR-S1	Neutral	Any increased development or changes in development in West Rangiora have the potential to impact on educational facilities in terms of school capacity, transport effects, amenity and more. Seek that any development in the Outline Development Plan considers impacts on educational facilities and seeks ongoing consultation from Council and developers as the development area is progressed. Support proposed infrastructure that facilitates active transport and improves safety.Seek ongoing consultation from Council and developers as the development area is progressed.	Section 6.17	Reject	The development area overlay reflects the future development strategy and thus the extent of future development within the district and thus the likely extent of future educational needs if all development capacity is used is already known.	Yes
FS 46	FS Miranda Hales		Oppose			Accept		
FS 89	FS Michael and Jean Schluter		Oppose			Accept		
277.73	Ministry of Education	DEV-WR-APP1	Neutral	Neutral on the use of a certification process for development in North East Rangiora. However, if this process is to be used provision needs to be given to effects of development in the area on educational facilities. This matter has also been previously discussed with and supported by Council planners.Amend DEV-NER-S1:"1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the North East Rangiora Development Area:...i. There is sufficient capacity in current and/or planned educational facilities for the increase in student population due to development and assessment of any other potential impacts of the development on educational facilities has been undertaken..."	Section 6.2	Accept in part	Inconsistencies have been rectified	Yes

277.74	Ministry of Education	DEV-NER-S1	Amend	<p>Neutral on a preferred Option for Outline Development Plans for North East Rangiora. However, any increased development or changes in development have the potential to affect Rangiora High School in terms of capacity, reverse sensitivity to the school farm, transport effects, amenity and more. Seek that any development considers impacts on educational facilities and seeks ongoing consultation from Council and developers as the development area is progressed. Seek that any plans enable the development of educational facilities throughout the development area particularly as one of the options shows relocation of Rangiora High School. Support proposed infrastructure that facilitates active transport and improves safety. Will work collaboratively with the Council and the Community to determine the most appropriate use of the land and future of the High School. Acknowledge the submission on the Proposed District Plan by the Rangiora High School Board of Trustees and support its intent. Seek ongoing consultation from Council and developers as the North East Rangiora development area is progressed. In particular seek that any plans enable the development of educational facilities throughout the development area particularly as one of the options shows relocation of Rangiora High School.</p>	Section 6.18	Accept in part	Inconsistencies have been rectified	Yes
277.75	Ministry of Education	DEV-NER-APP1	Neutral	<p>Neutral on a preferred Option for Outline Development Plans for North East Rangiora. However, any increased development or changes in development have the potential to affect Rangiora High School in terms of capacity, reverse sensitivity to the school farm, transport effects, amenity and more. Seek that any development considers impacts on educational facilities and seeks ongoing consultation from Council and developers as the development area is progressed.</p> <p>Seek that any plans enable the development of educational facilities throughout the development area particularly as one of the options shows relocation of Rangiora High School. Support proposed infrastructure that facilitates active transport and improves safety. Will work collaboratively with the Council and the Community to determine the most appropriate use of the land and future of the High School. Acknowledge the submission on the Proposed District Plan by the Rangiora High School Board of Trustees and support its intent. Seek ongoing consultation from Council and developers as the North East Rangiora</p>	Section 6.18	Accept in part	Inconsistencies have been rectified	Yes

				development area is progressed. In particular seek that any plans enable the development of educational facilities throughout the development area particularly as one of the options shows relocation of Rangiora High School.				
277.76	Ministry of Education	DEV-NER-APP1	Amend	<p>While a road to connect the new north/south road to East Belt is appropriate in a transport sense, a road would be required through Rangiora High School. No decisions have been made on the location of the High School in the future and as such, the road being a fixed outline development plan feature is inappropriate. It is more appropriate to indicate the road as being subject to landowner agreement. In addition, the secondary road indicated in Option B is a more efficient transport option as it offers a direct connection to Keir Street and a possible additional crossing over the railway. Amend DEV-NER-APP1:</p> <p>“Fixed Outline Development Plan Features for the North East Rangiora Development Area: ... - A road to connect the new north/south road to East Belt. ...”</p>	Section 6.18	Accept in part	The ODP is a long term outline of development in the area, and I note that landowner permission from the school would be required to develop the road, however I agree that the text for the ODP should acknowledge that permission from the school is required	Yes
FS 85	FS Bellgrove Rangiora Ltd		Support			Accept		

277.77	Ministry of Education	DEV-NER-APP1	Amend	<p>The commentary regarding Option A and Option B and the education precinct appears favourable to Option A which would see part of the Rangiora High School farm, and Ministry of Education land being developed. The benefits of Option A are outlined in the commentary whereas the benefits of Option B are not. Submitter holds no position on a preferred Option, and both options are still to be considered and no sale of land has been confirmed. In addition, as a landowner retains the right to determine future of its land however will look to work collaboratively with the Council and the Community to determine the most appropriate use of the land and future of the school. Amend DEV-NER-APP1:</p> <p>"...Option B, which retains the education precinct within its current footprint, enables less medium density residential development in the south-west of the Development Area however retains the current extent of Rangiora High Schools farmland for use by students</p> <p>...</p> <p>The Rangiora High School is located within the North East Rangiora Development Area. Development option A for this Development Area anticipates that the education precinct moves slightly northward to border the recreation and sports sites at the north, allowing greater connection to adjacent sports facilities and maximised opportunities for residential development closer to the town centre. This remains subject to agreement of all directly affected landowners and parties..."</p>	Section 6.18	Accept		Yes
FS 85	FS Bellgrove Rangiora Ltd		Support			Accept		
277.78	Ministry of Education	DEV-SER-S1	Amend	<p>Neutral on the use of a certification process for development in South East Rangiora. However, if this process is to be used provision needs to be given to effects of development in the area on educational facilities. This matter has also been previously discussed with and supported by Council planners. Amend DEV-SER-S1:</p> <p>"1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the South East Rangiora Development Area:</p> <p>...</p> <p>i. There is sufficient capacity in current and/or planned educational facilities for the increase in student population due to development and</p>	Section 6.20	Accept in part	Certification provisions have been amended	No

				assessment of any other potential impacts of the development on educational facilities has been undertaken."				
277.79	Ministry of Education	DEV-SER-APP1	Amend	Support provision of an educational facility in South East Rangiora Development Area. Likely an educational facility will be required in the area due to anticipated population growth, however no site selection process has been undertaken. Therefore a site for a new educational facility should be treated as indicative. Seek that the educational facility figure marked within the Outline Development Plan is deleted and amend to enable educational facilities within the development area. Delete the Education/Community figure from the Outline Development Plan. Amend DEV-SER-APP1: "...It is subject to Ministry of Education consideration whether an additional primary school is required in the South East Rangiora Development Area in the future to service its catchment. It could be feasible that preschool(s) are established in the Development Area. The provision of new educational facilities can be provided within the Development Area or in the wider area albeit subject to a needs assessment."	Section 6.20	Accept in part	Certification provisions have been amended	No
277.80	Ministry of Education	DEV-SER-APP1	Amend	Neutral on the use of a certification process for development in Kaiapoi Development Area. However, consideration needs to be given to effects of development in the area on educational facilities. This matter has also been previously discussed with and supported by Council planners. Amend DEV-K-S1: "1. The following criteria must be demonstrated to be met for the District Council's Chief Executive Officer or their delegate to certify to enable urban development (subdivision and land use activities) in the Kaiapoi Development Area: ...j. There is sufficient capacity in current and/or planned educational facilities for the increase in student population due to development and assessment of any other	Section 6.19	Accept in part	Certification provisions have been amended	No

				potential impacts of the development on educational facilities has been undertaken..."				
277.81	Ministry of Education	DEV-K-S1	Amend	Any increased development or changes in development in Kaiapoi Development Area have potential to impact on educational facilities in terms of school capacity, transport effects, amenity and more. Seek that any development under the Outline Development Plan considers impacts on educational facilities and seek ongoing consultation from Council and developers as the development area is progressed. Support proposed infrastructure that facilitates active transport and improves safety. Seek ongoing consultation from Council and developers as the development area is progressed.	Section 6.19	Accept in part	Certification provisions have been amended to provide for educational capacity as a matter to be considered.	No
277.82	Ministry of Education	DEV-WR-AN1	Neutral	Generally support advice note DEV-WR-AN3 as the publishing of annual residential capacity calculations and the calculation of residential demand will help the Ministry of Education plan for growth more accurately. Retain DEV-WR-AN3 as notified.	Section 6.17	Accept		No
277.84	Ministry of Education	DEV-NER-AN1	Support	Generally support advice note DEV-NER-AN3 as the publishing of annual residential capacity calculations and the calculation of residential demand will help the Ministry of Education plan for growth more accurately. Retain DEV-NER-AN3 as notified.	Section 6.18	Accept		No
277.85	Ministry of Education	DEV-SER-AN1	Support	Generally support advice note DEV-SER-AN3 as the publishing of annual residential capacity calculations and the calculation of residential demand will help the Ministry of Education plan for growth more accurately. Retain DEV-SER-AN3 as notified.	Section 6.20	Accept		No
277.86	Ministry of Education	DEV-K-AN1	Support	Generally support advice note DEV-K-AN3 as the publishing of annual residential capacity calculations and the calculation of residential demand will help the Ministry of Education plan for growth more accurately. Retain DEV-K-AN3 as notified.	Section 6.19	Accept		No
277.87	Ministry of Education	DEV-MILL	Support	Object to future use being changed from its current rural use, due to:- Increased risk to property from natural hazards including tsunami and flooding- Sufficient land available for future development west of Main North Road- Residents enjoy current wildlife, trees, rivers and lakes and overbuilding has an effect on waterways and wildlife. Leave the land	Section 6.10	Accept		No

				zoned rural and seek other options for redevelopment areas in the Waimakariri district.				
289.1	Laurie and Pamela Richards		Oppose	<p>Oppose provisions controlling subdivision and development within the Ohoka Outline Development Plan (ODP), because they do not adequately protect the submitters land from becoming landlocked in the future. The ability to subdivide their land is highly dependent upon formation of the roading network depicted in the ODP but the ODP roading pattern may not be achieved due to difficulties that constrain vesting of Kintyre Lane as a public road coupled with recent subdivision that potentially constrains future use of the alternative primary access road.</p> <p>Amend the provisions pertaining to subdivision and development within the ODP to:</p> <p>(a) better protect the integrity of the ODP roading network and</p> <p>(b) provide opportunity for the submitters (and other potentially affected landowners) to submit on subdivision applications within the ODP that do not provide for or enable reasonable access to, and development of, land in the manner anticipated by the ODP. Amend DEV-MILL-BFS2 to include new standards:</p> <p>"(4) The integrity of the Mill Road ODP roading network shall be maintained to enable future subdivision of other land serviced by the roading network in the manner anticipated by the ODP.</p> <p>(5) Any subdivision application shall include the written approval of any other land owners within the Mill Road ODP where the application may adversely affect the land owner's ability to service future residential development of their land in the manner anticipated by the ODP."</p> <p>Amend DEV-MILL-BFS2 to include an Advice Note: "Notification: An application for a non-complying activity under DEV-MILLBFS2 (4) and (5) this rule is precluded from being publicly notified, but may be limited notified, including to other land owners within the Mill Road ODP who might be adversely affected by the application"</p>	Section 6.7	Accept in part	Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12	Yes

FS 57	FS Brenda & Michael Sharpe		Support			Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12	Yes
FS 113	FS Macrae Land Company Ltd		Oppose			Rejected in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12	No
FS 116	FS Simon Higgs		Support			Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12	No
FS 295	FS Wayne Godfrey	DEV-MILL-BFS2	Support			Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12	No

289.2	Laurie and Pamela Richards	DEV-MILL-APP1	Amend	<p>Oppose provisions controlling subdivision and development within the Ohoka Outline Development Plan (ODP), because they do not adequately protect the submitters land from becoming landlocked in the future. The ability to subdivide their land is highly dependent upon formation of the roading network depicted in the ODP but the ODP roading pattern may not be achieved due to difficulties that constrain vesting of Kintyre Lane as a public road coupled with recent subdivision that potentially constrains future use of the alternative primary access road.</p> <p>Amend the provisions pertaining to subdivision and development within the ODP to: (a) better protect the integrity of the ODP roading network and (b) provide opportunity for the submitters (and other potentially affected landowners) to submit on subdivision applications within the ODP that do not provide for or enable reasonable access to, and development of, land in the manner anticipated by the ODP. Amend DEV-MILL-BFS2 to include new standards:</p> <p>"(4) The integrity of the Mill Road ODP roading network shall be maintained to enable future subdivision of other land serviced by the roading network in the manner anticipated by the ODP. (5) Any subdivision application shall include the written approval of any other land owners within the Mill Road ODP where the application may adversely affect the land owner's ability to service future residential development of their land in the manner anticipated by the ODP."</p> <p>Amend DEV-MILL-BFS2 to include an Advice Note: "Notification: An application for a non-complying activity under DEV-MILLBFS2 (4) and (5) this rule is precluded from being publicly notified, but may be limited notified, including to other land owners within the Mill Road ODP who might be adversely affected by the application"</p>	Section 6.10	Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12		No
FS 50	FS Wayne Godfrey	MILL	Support			Accepted in relation to affected party issues only, with the rest of this submission deferred to		No

						rezoning hearing 12		
FS 57	FS Brenda & Michael Sharpe	MILL	Support			Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12		No
FS 116	FS Simon Higgs	MILL	Support			Accepted in relation to affected party issues only, with the rest of this submission deferred to rezoning hearing 12		No
289.3	Laurie and Pamela Richards	General	Amend	Oppose provisions controlling subdivision and development within the Ohoka Outline Development Plan (ODP), because they do not adequately protect the submitters land from becoming landlocked in the future. The ability to subdivide their land is highly dependent upon formation of the roading network depicted in the ODP but the ODP roading pattern may not be achieved due to difficulties that constrain vesting of Kintyre Lane as a public road coupled with recent subdivision that potentially constrains future use of the alternative primary access road. Amend the provisions pertaining to subdivision and development within the ODP to: (a) better protect the integrity of the ODP roading network and (b) provide opportunity for the submitters (and other potentially affected landowners) to submit on subdivision applications within the ODP that do not provide for or enable reasonable access to, and development of, land in the manner anticipated by the ODP. Amend the Mill Road Outline Development Plan as may be required to support amendment to the above rules or give effect to the intent of this submission.	Section 6.10	A matter of discretion has been added to DEV-R1 to ensure that effects on landowners and occupiers are assessed during any certification consent.		No
FS 50	FS Wayne Godfrey	MILL	Support			Accept		
FS 57	FS Brenda & Michael Sharpe	MILL	Support			Accept		
FS 116	FS Simon Higgs	General	Support			Accept		

290.5	Doncaster Developments Ltd	DEV-NWR-APP1	Oppose	<p>Oppose North West Rangiora Outline Development Plan (DEV-NWR-APP1) as it does not provide for housing development of the submitter's land. The property is 11.6ha at the northeast end of Lehmans Road, Rangiora (see Figure 1 of Appendix E - 'the site'). Proposal to develop the site includes mix of styles and densities, and a proposed Outline Development Plan is included in Appendix I of submission. The submitter developed adjacent residential land, which includes medium density and townhouse development and amenities. Support good environmental and community outcomes for the development of Rangiora. Submissions to other consultations include that the 'Our Space' housing bottom lines and urban limits do not support the National Policy Statement on Urban Development (NPS-UD), the Urban Limits have unreasonably prejudiced availability of the site for development, insufficient supply of suitable land for housing in Rangiora and Waimakariri, need sufficiency of supply to address housing crisis, and use of uncertain population projections in setting housing limits. Found participation in these consultations frustrating, and submissions and evidence were not addressed. The Urban Limit (Map A, Canterbury Regional Policy Statement (CRPS)) is outdated and a historical anomaly since the site is zoned rural-residential. The land is serviceable, close to amenities and shopping centre, can consolidate and integrate with urban form, is within 200m of proposed public transport route, and has no hazard risk. Concerned Council not sufficiently addressed National Policy Statements on Urban Development Capacity 2016, and NPS-UD, by limiting land release. In 2018, evidence showed there was insufficient housing capacity in Waimakariri. Rezoning will give effect to CRPS by achieving consolidation and efficient use of resources. Housing demand now exceeds that stated in the CRPS, and is consistent with UFD-P3. Future Development Areas and Urban Limits were accepted by the 'Our Space' hearings panel as indicative only and would allow consideration of merits of proposals. Adopt the suggested Outline Development Plan attached to this submission (Appendix I).</p>	Section 6.4	Deferred to rezoning hearing stream 12		No
298.1	Nick and Cilla Taylor	SD-O2	Support	<p>Support future residential development to provide a range of housing opportunities as an urgent need and consider new residential activity in West Rangiora development area is appropriate. West Rangiora Development Area should be zoned General Residential Zone as there is demand now to</p>	Section 6.4	Deferred to rezoning hearing stream 12	Rezoning applications for this area will be assessed on their merits, but the support from this submitter is noted.	No

				develop this area for housing consistent with SD-O2.Rezone West Rangiora Development Area to General Residential Zone.				
FS 91	FS R J Paterson Family Trust		Support					
298.3	Nick and Cilla Taylor	DEV-WR-O1	Support	Support future residential development to provide a range of housing opportunities as an urgent need and consider new residential activity West Rangiora Development Area (WR) is appropriate.WR should be zoned General Residential Zone as there is demand now to develop this area for housing consistent with SD-O2.Rezone West Rangiora Development Area to General Residential Zone.	Section 6.4	Deferred to rezoning hearing stream 12	Rezoning applications for this area will be assessed on their merits, but the support from this submitter is noted.	No
FS 91	FS R J Paterson Family Trust		Support					
298.4	Nick and Cilla Taylor	DEV-WR-P1	Support	Support future residential development to provide a range of housing opportunities as an urgent need and consider new residential activity West Rangiora Development Area (WR) is appropriate.WR should be zoned General Residential Zone as there is demand now to develop this area for housing consistent with SD-O2.Rezone West Rangiora Development Area to General Residential Zone.	Section 6.4	Deferred to rezoning hearing stream 12	Rezoning applications for this area will be assessed on their merits, but the support from this submitter is noted.	No
FS 91	FS R J Paterson Family Trust		Support					
298.5	Nick and Cilla Taylor		Support	Oppose proposed West Rangiora Movement Network as described and shown in the Outline Development Plan. A new straight through road between Oxford and Johns Road is unnecessary and poor urban design. A local road network with walking and cycling connections will provide connectivity for residents. Developers need flexibility to agree on the optimum layout of infrastructure with the Council.Amend the West Rangiora Movement Network description and Outline Development Plan (DEV-WR-APP1) to show local connectivity and no direct through road.Delete "A key movement network feature for the West Rangiora Development Area is a main north/south primary road parallel to Lehmans Road through the centre of the growth area that intersects with Oxford Road in the north of the Development Area and curves to meet Townsend Road in the southeast of the Development Area."Emphasise local connectivity and retain references to "walking", "cycling", "high amenity", "reduced vehicle speeds and increased safety," "residential nature," and	Section 6.4	Reject	Transport assessments consider that the new road is required.	No

				"cater less to through vehicle traffic" in the description of movement in the development area. Retain the references to flexibility and the words "subject to detailed subdivision design" when describing the process of detailed planning for the area. Refer to Oxford Road, Lehmans Road, Johns Road and West Belt as through roads that already provide excellent connections to and beyond West Rangiora.				
FS 91	FS R J Paterson Family Trust		Support			Reject		
298.6	Nick and Cilla Taylor		Support	Support the proposed future development areas, as they require water supply to be shown to be sufficient to support the proposed development. Retain DEV-WR-P1 as notified.	Section 6.4	Accept in part		No
FS 91	FS R J Paterson Family Trust	DEV-WR-P1	Support			Accept		
303.80	Fire and Emergency NZ	DEV-WR-S1	Support	Support the proposed future development areas, as they require water supply to be shown to be sufficient to support the proposed development.	Section 6.4	Accept		No
303.81	Fire and Emergency NZ	DEV-NER-P1	Support	Support inclusion that infrastructure within the development area will be required to meet firefighting flows as set out in the Code of Practice, as well having on demand water schemes to have the required capacity, and all water pressure within the piped network being maintained at correct limits at all times. Retain DEV-WR-S1 as notified.	Section 6.17	Accept		No
303.82	Fire and Emergency NZ	DEV-NER-S1	Support	Support the proposed future development areas, as they require water supply to be shown to be sufficient to support the proposed development. Retain DEV-NER-P1 as notified.	Section 6.17	Accept		No
303.83	Fire and Emergency NZ	DEV-SER-P1	Support	Support the inclusion that water supply infrastructure within the development area will be required to meet firefighting flows as set out in the Code of Practice, as well having on demand water schemes to have the required capacity, and all water pressure within the piped network being maintained	Section 6.20	Accept		No

				at correct limits at all times.Retain DEV-NER-S1 as notified.				
303.84	Fire and Emergency NZ	DEV-SER-S1	Support	Support the proposed future development areas, as they require water supply to be shown to be sufficient to support the proposed development.Retain DEV-SER-P1 as notified.	Section 6.20	Accept		No
303.85	Fire and Emergency NZ	DEV-K-P1	Support	Support the inclusion that water supply infrastructure within the development area will be required to meet firefighting flows as set out in the Code of Practice, as well having on demand water schemes to have the required capacity, and all water pressure within the piped network being maintained at correct limits at all times.Retain DEV-SER-S1 as notified.	Section 6.19	Accept		No
303.86	Fire and Emergency NZ	DEV-K-S1	Support	Support the proposed future development areas, as they require water supply to be shown to be sufficient to support the proposed development.Retain DEV-K-P1 as notified.	Section 6.19	Accept		No
303.87	Fire and Emergency NZ	DEV-MILL-R1	Support	Support the inclusion that water supply infrastructure within the development area will be required to meet firefighting flows as set out in the Code of Practice, as well having on demand water schemes to have the required capacity, and all water pressure within the piped network being maintained at correct limits at all times.Retain DEV-K-S1 as notified.	Section 6.10	Accept		No

308.1	Reece Stuart MacDonald	DEV-MILL-APP1	Oppose	<p>Oppose potential future development of the alternate Public Road in the position shown on DEV-MILL-APP1 if Kintyre Lane is not formed as a Public Road. During the development of Plan Change 17 submitter considered development of Kintyre Lane as a Public Road to provide for future growth and development is practical and sensible. Submitter's property adjoins the land proposed as the alternate Public Road. Development of this would have adverse effect on use and enjoyment of the property. Seek deletion of alternative Public Road from the Outline Development Plan and amendments to associated Rules and Built Form Standards. Kintyre Lane aligns well with present extent of development and has been substantially formed and provides adequate access, and has room to be a character street with landscaping and planting, and be primary pedestrian and cycle route. The alternate Public Road was only provided as a response to differing views between landowners regarding future upgrade of Kintyre Lane, and results in a portion of Kintyre Lane becoming redundant land. The alternate Public Road will result in significant traffic, noise and security effects which submitter's property was not designed for. The alternate road would also complicate ability to trim a boundary hedge, the hedging and buildings will not align with the Built Form Standards, and will not provide amenity and character. Delete the potential Character Street with Landscaping and Planting provisions from DEV-MILL-APP1 if Kintyre Lane is not formed as a Public Road.</p> <p>Delete the potential Primary Pedestrian and Cycle Route if Kintyre Lane is not formed as a Public Road.</p> <p>Amend the activity status when compliance not achieved to non-complying.</p>	Section 6.10	Accept in part	A matter of discretion has been added to DEV-R1 to ensure that effects on landowners and occupiers are assessed during any certification consent.	Yes
FS 57	FS Brenda & Michael Sharpe		Oppose			Reject		
FS 67	FS Peter & Diane Graham		Oppose			Reject		
FS 109	FS Edward Jenkins		Oppose			Reject		
FS 113	FS Macrae Land Company Ltd		Oppose			Reject		
FS 116	FS Simon Higgs		Oppose			Reject		
FS 134	FS Wayne Godfrey		Oppose			Reject		

308.2	Reece Stuart MacDonald		Amend	Oppose the illustration of a new public road extending off Mill Road in the locality shown in the event that Kintyre Lane is not formed as a public road. Delete the potential Character Street with Landscaping and Planting provisions from DEV-MILL-APP1 if Kintyre Lane is not formed as a public road. Delete the potential Primary Pedestrian and Cycle Route from DEV-MILL-APP1 if Kintyre Lane is not formed as a public road.	Section 6.10	Accept in part		No
FS 57	FS Brenda & Michael Sharpe		Oppose			Reject		
FS 67	FS Peter & Diane Graham		Oppose			Reject		
FS 109	FS Edward Jenkins		Oppose			Reject		
FS 113	FS Macrae Land Company Ltd		Oppose			Reject		
FS 116	FS Simon Higgs		Oppose			Reject		
FS 134	FS Wayne Godfrey		Oppose			Reject		
308.3	Reece Stuart MacDonald	DEV-MILL-BFS2	Amend	Support DEV-MILL-BFS2 in so far as there shall be no increase in the number of allotments with vehicle access to Kintyre Lane until it is vested as a Public Road. Further support a maximum of only one Public Road connecting to Mill Road and seek that this must be Kintyre Lane. Oppose the potential future development of a Public Road in the position shown on DEV-MILL-APP1 if Kintyre Lane is not formed as a Public Road. During the development of Plan Change 17 submitter considered development of Kintyre Lane as a Public Road to provide for future growth and development is practical and sensible. Submitter's property adjoins the land proposed as the alternate Public Road. Development of this would have adverse effect on use and enjoyment of the property. Seek deletion of alternative Public Road from the Outline Development Plan and amendments to associated Rules and Built Form Standards. Kintyre Lane aligns well with present extent of development and has been substantially formed and provides adequate access, and has room to be a character street with landscaping and planting, and be primary pedestrian and cycle route. The alternate Public Road was only provided as a response to differing views between landowners regarding future upgrade of Kintyre Lane, and results in a portion of Kintyre Lane becoming redundant land. The alternate Public Road will result in significant traffic, noise and security effects which submitter's property was not designed for. The alternate road would also complicate ability to trim a boundary hedge, the hedging and buildings will not align with the Built Form Standards, and will not	Section 6.10	Accept in part		No

				provide amenity and character. Amend DEV-MILL-BFS2 to require provision for a road connection to the lands to the north in the location identified on DEV-MILL-APP1 only in the event that Kintyre Lane is formed as a Public Road.				
FS 57	FS Brenda & Michael Sharpe		Oppose			Reject		
FS 67	FS Peter & Diane Graham		Oppose			Reject		
FS 109	FS Edward Jenkins		Oppose			Reject		
FS 113	FS Macrae Land Company Ltd		Oppose			Reject		
FS 116	FS Simon Higgs		Oppose			Reject		
FS 134	FS Wayne Godfrey	General	Oppose			Reject		

313.1	James Lennox		Amend	Rezoning 35 Golf Links Road as a Development Area, and seek stormwater, sewage, and water to be provided to the boundary 35 Golf Links Road shares with 52 Kippenberger Avenue, rather than the proposal to provide this via Golf Links Rd.1. There is no date for provision of infrastructure along Golf Links Rd and it could be years away, depending on what happens to the six other properties that are on the same side of Golf Links Rd2. The cost of providing infrastructure to only one property makes it uneconomic to subdivide3. On the opposite side of Golf Links Rd is the Golf Course, which is unlikely to be subdivided, so considered better to provide infrastructure to the six properties that border 52 Kippenberger Avenue. This infrastructure could be extended in future down Coldstream Rd, the Rangiora Woodend Rd and Marchmont Rd if required. Provide ability to 'futureproof' 35 Golf Links Road as the current development area proposal will change the existing rural lifestyle.	Section 6.18	Accept in part	35 Golf Links Road has already been placed within the FUDA overlay	No
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Reject		
FS 90	FS Rachel Hobson & Bernard Whimp	General	Support			Accept		
314.1	Carolyn Hamlin		Amend	Generally support the certification mechanism to release land for urban development and subdivision as is innovative. However, concerned over the detail of the certification process, particularly regarding directive policies of the Canterbury Regional Policy Statement that enable the use of land for urban activities. There needs to be proper consideration of effects beyond the development area. Support requirement that all criteria must be met before the Chief Executive or delegate certifies that development can proceed. Support provision for a minimum net density of at least 15 households per ha (hh/ha) in the new Residential Development Areas, or 12hh/ha where there are constraints. Unclear why the proposed South East Rangiora Outline Development Plan (DEV-SER-APP1) specifies a minimum of 12hh/ha. Amend certification process to include:- All natural hazards in Future Development Areas are assessed and it is demonstrated that risks can be avoided or mitigated before land is released for development. This includes not increasing risk to surrounding land through mitigation techniques. Deferring effective consideration to the subdivision stage is inadequate.- Identification and protection of indigenous biodiversity, especially wetlands, given the policy positioning in the National Policy	Section 6.2	Accept in part	The certification provisions have been amended	Yes

				Statement on Freshwater Management and the rules in the National Environmental Standards for Freshwater.				
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Reject		
FS 90	FS Rachel Hobson & Bernard Whimp	General	Support			Accept		
316.187	Canterbury Regional Council		Amend	Generally support the certification mechanism to release land for urban development and subdivision as is innovative. However, concerned over the detail of the certification process, particularly regarding the directive policies of the Canterbury Regional Policy Statement that enable the use of land for urban activities and there needs to be consideration of effects beyond the development area. Support requirement that all criteria must be met before the Chief Executive or delegate certifies that development can proceed. Support minimum net density of 15 households per ha (hh/ha) in the new Residential Development Areas, or 12hh/ha where there are constraints. However unclear why the South East Rangiora Outline Development Plan (DEV-SER-APP1) specifies a minimum of 12hh/ha. Amend certification process to include:- All natural hazards in Future Development Areas are assessed and it is demonstrated that risks can be avoided or mitigated before land is released for development. This includes not increasing risk to surrounding land. Deferring effective consideration to the subdivision stage is inadequate.- Identification and protection of indigenous biodiversity, especially wetlands, given the policy positioning in the National	Section 6.2	Accept in part	The certification provisions have been amended	

				Policy Statement on Freshwater Management and the rules in the National Environmental Standards for Freshwater.				
FS 37	FS Richard and Geoff Spark		Oppose			Reject		
FS 89	FS Michael and Jean Schluter	General	Oppose			Reject		
316.188	Canterbury Regional Council	General	Amend	Generally support certification mechanism to release land for urban development and subdivision as is innovative. However, concerned over the detail of the certification process, particularly regarding the directive policies of the Canterbury Regional Policy Statement that enable the use of land for urban activities and there needs to be consideration of effects beyond the development area. Support requirement that all criteria must be met before the Chief Executive or delegate certifies that development can proceed. Support minimum net density of 15 households per ha (hh/ha) in the new Residential Development Areas, or 12hh/ha where there are constraints. However unclear why South East Rangiora Outline Development Plan (DEV-SER-APP1) specifies a minimum of 12hh/ha. Amend certification process to include:- all natural hazards in Future Development Areas are properly assessed and it is demonstrated that the risks can be avoided or mitigated before land is released for development. This includes not increasing risk to surrounding land. Deferring effective consideration to the subdivision stage is inadequate.- Identification and protection of indigenous biodiversity, especially wetlands, given the policy positioning in the National Policy Statement on Freshwater Management and	Section 6.2	Accept in part	The certification provisions have been amended	Yes

				the rules in the National Environmental Standards for Freshwater.				
316.189	Canterbury Regional Council	General	Amend	<p>Generally support certification mechanism to release land for urban development and subdivision as is innovative.</p> <p>However, concerned over the detail of the certification process, particularly regarding the directive policies of the Canterbury Regional Policy Statement that enable the use of land for urban activities and there needs to be consideration of effects beyond the development area.</p> <p>Support requirement that all criteria must be met before the Chief Executive or delegate certifies that development can proceed.</p> <p>Support minimum net density of 15 households per ha (hh/ha) in the new Residential Development Areas, or 12hh/ha where there are constraints. However unclear why South East Rangiora Outline Development Plan (DEV-SER-APP1) specifies a minimum of 12hh/ha. Amend certification process to include:</p> <ul style="list-style-type: none"> - all natural hazards in Future Development Areas are properly assessed and it is demonstrated that the risks can be avoided or mitigated before land is released for development. This includes not increasing risk to surrounding land. Deferring effective consideration to the subdivision stage is inadequate. 	Section 6.2	Accept in part	The certification provisions have been amended	Yes

				<p>- Identification and protection of indigenous biodiversity, especially wetlands, given the policy positioning in the National Policy Statement on Freshwater Management and the rules in the National Environmental Standards for Freshwater.</p>				
--	--	--	--	--	--	--	--	--

316.190	Canterbury Regional Council		Oppose	<p>The Kaiapoi Development Area is subject to overlays and policies in the Canterbury Regional Policy Statement (CRPS), National Policy Statement on Freshwater Management, Canterbury Land and Water Regional Plan, and potentially the New Zealand Coastal Policy Statement (NZCPS). Therefore a regular plan change process to change to urban use is likely to result in better integrated planning outcomes than the certification process which may not enable development.</p> <p>The Kaiapoi Development Area is part located within the 50 dBA Ldn airport noise contour and are subject to the CRPS to avoid noise sensitive development.</p> <p>The Council's hazard assessments identify coastal inundation risk which may meet the criteria of a coastal hazard under the NZCPS and be subject to directive policies on avoiding increased hazard risk. It is not clear if certification would appropriately deal with risks such as increase in risk elsewhere from displaced floodwaters.</p> <p>Support minimum net density of 15 households per ha (hh/ha) in the new Residential Development Areas, or 12hh/ha where there are constraints. Unclear why Kaiapoi Outline Development Plan (DEV-K-APP1) specifies a minimum of 12hh/ha. Use a regular plan change process rather than certification, to address issues including airport noise, high flood hazard areas, indigenous biodiversity and wetlands, and coastal inundation risk.</p>	Section 6.19	Accept in part	Density should be amended to 15hh/ha as a standard except where constraints exist, in which case the density should be 12 hh/ha. For their concerns on certification, I note that certification and rezonings are parallel processes and both are available for developers to utilise. Both processes should have the same assessment of the hazards and risks as outlined in ECan's submissions as a result of my recommended amendments to the certification process.	Yes
325.13	Kainga Ora - Homes and Communities		Amend	<p>Amend UFD-P6 as it is unclear what the certification process may entail. Release of new urban land should align with the Future Development Strategy or Council's growth strategy especially the release of land per the timeframes set out in the growth strategy. Amend UFD-P6:</p> <p>"The release of land within the identified new development areas of Kaiapoi, North East Rangiora and South East Rangiora occurs in an efficient and timely manner generally aligned to the Future Development Strategy or Council's growth strategy via a certification process to enable residential activity to meet short to medium-term feasible development capacity and achievement of housing bottom lines."</p>	Section 6.2	Reject	Under the NPS-UD Council must have sufficient short to medium term plan-enabled capacity, and I consider that the certification process ensures plan-enabled capacity for the short to medium term throughout all of the FUDA area, as the certification rules are a restricted discretionary activity.	No

FS 80	FS Christchurch International Airport Ltd		Oppose			Accept		
FS 85	FS Bellgrove Rangiora Ltd		Oppose			Accept		
340.1	Robert Jack Paterson	DEV-WR-S1	Support	Oppose the certification process as it will not enable development to meet demand in the short term. The certification process needs to be given immediate effect to work in substitution of rezoning. Abandon the certification process and rezone the land in the West Rangiora Development Area. Require that technical reports to support the rezoning be submitted as part of the process. Alternatively give immediate affect to the certification process.	Section 6.17	Reject		No
FS 85	FS Bellgrove Rangiora Ltd	DEV-NWD-R1	Oppose			Accept		
347.93	Ravenswood Developments Limited (RDL)	DEV-NWD-APP1	Oppose	Updated reference to the replacement Outline Development Plans.Amend heading to “DEV-RW-R1 North WoodendDevelopment Area Ravenswood Outline Development Plans”. Retain the activity status as notified.	Section 6.11	Deferred to rezoning hearings		No
347.94	Ravenswood Developments Limited (RDL)	General	Amend	The large scale Outline Development Plan (ODP) replaces the outdated North Woodend ODP which does not reflect the current cadastral base and roading pattern, or the zoning outcome sought by this submission. The smaller scale ODP will guide the future development of the Ravenswood town centre and Key Activity Centre.Amend title to DEV-RW-APP1 Replace with the following Outline Development Plans (ODPs): - A large scale ODP for the wider Ravenswood development (residential and commercial areas) (Appendix 1). - A smaller scale ODP inset focusing on the Ravenswood commercial area (Appendix 1a).	Section 6.11	Deferred to rezoning hearings		No
360.8	Christchurch City Council		Oppose	Oppose the certification process as it will not enable development to meet demand in the short term. The certification process needs to be given immediate effect to work in substitution of rezoning. Abandon the certification process and rezone the land in the West Rangiora Development Area. Require that technical reports to support the rezoning be submitted as part of the process. Alternatively give immediate affect to the certification process.	Section 6.2	Reject	Rezoning proposals are also being considered	No
FS 46	FS Miranda Hales		Oppose			Accept		

FS 63	FS Momentum Land Ltd		Support			Reject		
FS 80	FS Christchurch International Airport Ltd		Support			Reject		
367.12	Waimakariri District Council	Rangiora South East Outline Development Plan - Land Use	Support	Amend the appendix for Development Areas South East Rangiora (Appendix DEV-SER-APP1 Land Use Plan) as the reference to 12 households per ha is inconsistent with other development areas and does not align with RESZ-P14 development density rule. Amend Appendix DEV-SER-APP1 Land Use Plan: ...Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved.	Section 6.20	Accept	Amended accordingly	Yes
367.13	Waimakariri District Council	DEV-EWD-APP1	Oppose	Amend the appendix for Development Areas Kaiapoi (Appendix DEV-K-APP1) as the reference to 12 households per ha is inconsistent with other development areas and doesn't align with RESZ-P14 development density rule. Amend Appendix DEV-K-APP1: "...Development Area shall achieve a minimum residential density of 15 households per ha, unless there are identified constraints to development, in which case no less than 12 households per ha shall be achieved."	Section 6.13	Accept	Amended accordingly	Yes
367.17	Waimakariri District Council	DEV-WR-R6	Oppose	Amend East Woodend Outline Development Plan to correct map details. Amend the East Woodend Outline Development Plan (ODP) map layer on the Planning Map, and the map in DEV-EWD-APP1 - East Woodend ODP: a. Amend Eders Road from Collector Road to Local Road. b. Align intersection of Local Road that runs north to south (from Gladstone Road to Parsonage Road) through Eders Road in order to improve intersection safety. c. Widen section of Eders Road that runs north to south located on the east of the ODP so it extends towards the west to become a width of 18m as per Local Road classification. d. Expand 'Outline Development Plan Area' layer outwards to encompass all roads affected by East Woodend ODP. Amend first bullet point of second paragraph in Introduction of EWD - East Woodend in Part 3 (Existing Development Areas) as follows:	Section 6.17	Accept	Amended accordingly	Yes

				"a collector local road linking Woodend Beach Road with Petries Road"				
367.36	Waimakariri District Council	DEV-WR-R7	Oppose	Amend DEV-WR-R6 to clear up any confusion around certification. Amend DEV-WR-R6: ... a) The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies has not certified that the criteria in DEV-WR-S1 are met and b) The activity is not in accordance with the residential development requirements of DEV-WR-APP1.	Section 6.17	Accept in part	The certification provisions have been amended	Yes
367.37	Waimakariri District Council	DEV-SER-R6	Oppose	Amend DEV-WR-R7 to clear up any confusion around certification. Amend DEV-WR-R7: ... a) The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies has not certified that the criteria in DEV-WR-S1 are met and b) The activity is not in accordance with the residential development requirements of DEV-WR-APP1.	Section 6.17	Accept in part	The certification provisions have been amended	Yes
367.38	Waimakariri District Council	DEV-SER-R7	Oppose	Amend DEV-SER-R6 to clear up any confusion around certification. Amend DEV-SER-R6: "... a) The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies has not certified that the criteria in DEV-SER-S1 are met and b) The activity is not in accordance with the	Section 6.20	Accept in part	The certification provisions have been amended	Yes

				residential development requirements of DEV-SER-APP1."				
367.39	Waimakariri District Council	DEV-K-R6	Oppose	Amend DEV-SER-R7 to clear up any confusion around certification.Amend DEV-SER-R7: "... a) The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies has not certified that the criteria in DEV-SER-S1 are met and b) The activity is not in accordance with the residential development requirements of DEV-SER-APP1."	Section 6.20	Accept in part	The certification provisions have been amended	Yes
367.40	Waimakariri District Council	DEV-K-R7	Oppose	Amend DEV-K-R6 to clear up any confusion around certification.Amend DEV-K-R7: "... a) The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies has not certified that the criteria in DEV-K-S1 are met and b) The activity is not in accordance with the residential development requirements of DEV-K-APP1. "	Section 6.19	Accept in part	The certification provisions have been amended	Yes
367.41	Waimakariri District Council	General	Oppose	Amend DEV-K-R7 to clear up any confusion around certification.Amend DEV-K-R7: "... a) The provisions of the Rural Lifestyle Zone will apply to any part of the Development Area where the District Council's Chief Executive Officer or their delegate (following the receipt of an application) certifies has not certified that the criteria in DEV-K-S1 are met and b) The activity is not in accordance with the residential development requirements of DEV-K-APP1."	Section 6.19	Accept in part	The certification provisions have been amended	Yes
367.47	Waimakariri District Council	General	Oppose	Amend Southbrook Outline Development Plan to reflect sheet 154 of Operative District Plan.Amend Outline Development Plan (ODP) within Planning map for Southbrook and DEV-SBK-APP1 Southbrook ODP to include proposed stream diversion and	Section 6.12	Accept	Amended accordingly	Yes

				overland drainage system from ODP in Operative DP (sheet 154).				
367.60	Waimakariri District Council	DEV-NWR-APP1	Oppose	Seeks to have more accurate layer name for North West Rangiora Outline Development Plan. Amend 'Proposed Road Design' layer name on North West Rangiora Outline Development Plan (ODP) to 'Proposed Road' on Planning Map, and on map in DEV-NWR-APP1 Northwest Rangiora ODP.	Section 6.4	Accept	Amended accordingly	Yes
367.61	Waimakariri District Council		Oppose	Seeks to have more accurate layer name for North West Rangiora Outline Development Plan. Amend 'Proposed Road Design' layer name on North West Rangiora Outline Development Plan (ODP) to 'Proposed Road' on Planning Map, and on map in DEV-NWR-APP1 Northwest Rangiora ODP.	Section 6.4	Accept	Amended accordingly	Yes
367.62	Waimakariri District Council	General	Oppose	<p>Seeks to delete Neighbourhood road classification as it is no longer applicable and update to Local Road classification in West Kaiapoi Outline Development Plan.</p> <p>Seeks to update road classification of Island Road between Cosgrove and Ohoka Road. Amend West Kaiapoi Outline Development Plan on Planning Map, and map in DEV-WKP-APP1 - West Kaiapoi Outline Development Plan:</p> <p>a. Amend 'Neighbourhood Road' layer to Local Road classification.</p> <p>b. Amend section of Island Road located between Cosgrove Road and Ohoka Road from Local Road to Collector Road classification.</p>	Section 6.8	Accept	Amended accordingly	Yes
367.63	Waimakariri District Council		Oppose	<p>Remove Neighbourhood Road classification from West Kaiapoi Outline Development Plan as no longer an applicable road classification. Update to Local Road classification as this is more comparable. Update road classification of Island Road between Cosgrove and Ohoka Road. Amend West Kaiapoi Outline Development Plan (ODP) on Planning Map, and map in DEV-WKP-APP1 - West Kaiapoi ODP:</p> <p>a. Amend 'Neighbourhood Road' layer to Local Road classification.</p> <p>b. Amend section of Island Road located between Cosgrove Road and Ohoka Road from Local Road to Collector Road classification.</p>	Section 6.8	Accept	Amended accordingly	Yes

391.1	Gregory E Kelley		Amend	<p>Concerned regarding the future potential development of the South East Rangiora Development area. The scale and infrastructure will endanger the Cam River. Family remember the Cam River only drying up once in the past however since purchase of property at 479 Rangiora Woodend Road nine years ago it has dried up four times. Attributes this to drainage, stormwater channels and dry wells in the Northbrook/Goodwin Street area. This endangers native and endemic fauna. The area to the south of the property are partial wetlands and springs with additional native species (crayfish) that do not want to see threatened. The development area runs close to property's western boundary and well. Health and safety concerns about water supply becoming contaminated by storm, waste water or pollution from roading and walkways or flood events. The Proposed District Plan notes there are artesian springs in the area which property is connected to at a minimum through the well and aquifer. Concerned that plans for infrastructure, particularly setbacks from water sources, are not well defined and insufficient. Seek consideration and assurance of the protection of the Cam River and local fauna, and protection of water supply. Rezone 479 Rangiora Woodend Road to Residential/General Residential Zone. 8500m2 of the property is available for subdivision outside of the South East Rangiora Development Area (SER) and is currently zoned Rural Lifestyle Zone. The SER abuts the property's western boundaries and will degrade future potential property value. The Proposed District Plan has little or no mention of compensation or remediation and on-going responsibility for negative impacts on surrounding properties caused by the development. Enabling subdivision of the property by rezoning to residential could provide means of recourse should remediation be required to keep property viable, and would be disadvantaged without this option. This could also give options to protect the Cam River and water security.</p>	Section 6.20	Accept in part	Certification provisions have been amended to ensure groundwater assessments occur. Rezoning request deferred to rezoning report.	Yes
FS 90	FS Rachel Hobson & Bernard Whimp		Support			Accept		
407.1	M & J Schluter		Amend	<p>Amend Southbrook Outline Development Plan to reflect sheet 154 of Operative District Plan. Amend Outline Development Plan (ODP) within Planning map for Southbrook and DEV-SBK-APP1 Southbrook ODP to include proposed stream diversion and overland drainage system from ODP in Operative DP (sheet 154).</p>	Section 6.12	Accept	Drainage diversion and overland drainage system from Sheet 154 recommended to be added to PDP ODP	Yes

FS 46	FS Miranda Hales		Support			Accept		
FS 91	FS R J Paterson Family Trust		Support			Accept		
407.2	M & J Schluter		Amend	Seeks to have more accurate layer name for North West Rangiora Outline Development Plan. Amend 'Proposed Road Design' layer name on North West Rangiora Outline Development Plan (ODP) to 'Proposed Road' on Planning Map, and on map in DEV-NWR-APP1 Northwest Rangiora ODP.	Section 6.4	Reject		No
FS 46	FS Miranda Hales		Don't know					
FS 91	FS R J Paterson Family Trust		Support			Reject		
407.3	M & J Schluter		Amend	Seeks to have more accurate layer name for North West Rangiora Outline Development Plan. Amend 'Proposed Road Design' layer name on North West Rangiora Outline Development Plan (ODP) to 'Proposed Road' on Planning Map, and on map in DEV-NWR-APP1 Northwest Rangiora ODP.	Section 6.4	Deferred to rezoning hearing stream 12		No
FS 46	FS Miranda Hales		Support					
FS 91	FS R J Paterson Family Trust		Support					
408.1	Bellgrove Rangiora Ltd		Oppose	Oppose the Proposed District Plan in its current form, or amend to reflect the issues raised further in this submission. Reject the Proposed District Plan in its current form, or amend provisions to reflect the issues raised in this submission. Such other relief as may be required to give effect to this submission.	Section 6.18	Reject		No
FS 37	FS Richard and Geoff Spark		Support			Reject		
408.100	Bellgrove Rangiora Ltd	NER	Amend	When Bellgrove is rezoned from rural to residential via the certification process for new development areas, its important to ensure that site's current 'Non-Urban Flood Overlay' provisions still apply to the site, which would typically be within the 'Urban Flood Assessment Overlay and subject to NH-R1. Ensure flood overlays and relevant provisions are appropriately carried over following certification process for new development areas.	Section 6.18	Accept in part	I note Mr Willis's recommendations to remove the urban and non-urban flood assessment overlays and replace them with a risk-based assessment, in NH-S1.	No
408.66	Bellgrove Rangiora Ltd	NER	Support	Generally supports DEV-NER-O1. Retain DEV-NER-O1 as notified.	Section 6.18	Accept		No

408.67	Bellgrove Rangiora Ltd	NER	Support	Generally supports DEV-NER-P1.Retain DEV-NER-P1 as notified.	Section 6.18	Accept		No
408.68	Bellgrove Rangiora Ltd	NER	Support	Generally supports DEV-NER-P2, however, it does not include consideration of the General Residential Zone rules. General residential density is identified in the Outline Development Plan and the supporting text (i.e. DEV-NER-R1) and consequently should be referred to in this Policy for consistency.Amend DEV-NER-P2: "Only allow subdivision and activities where: 1. after certification by the Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General Residential Zone, Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions ..."	Section 6.18	Accept in part	Amendments have been recommended to the certification process	No
408.69	Bellgrove Rangiora Ltd	NER	Support	Generally support the proposed certification process to release land within the North East Rangiora Development Area for future urban development. Retain proposed certification process as notified.	Section 6.18	Accept in part	Amendments have been recommended to the certification process	No

408.70	Bellgrove Rangiora Ltd	NER	Amend	<p>Support certification process and criteria in DEV-NER-S1, including advice note DEV-NER-AN1 which clarifies that the certification process can apply in whole or part to the development area.</p> <p>Clarification of clause (2) is sought to ensure that as per DEV-NER-AN1 (that certification can occur in part) the s.224 process can also occur in part.</p> <p>Concerned certification could lapse which would require landowner to make a fresh essentially duplicate application for another certification causing unnecessary delay and expense.</p> <p>Question the relevance of clause (1) given any development would help contribute to additional residential capacity to help achieve projected total residential demand. Amend DEV-NER-S1:</p> <p>"...</p> <p>2. If a s224 certificate under the RMA has not been granted by the District Council within three years of the date of certification, certification shall cease to apply. For clarity s.224 certificates can be sought in part ."</p>	Section 6.18	Accept in part	Amendments have been recommended to the certification process	Yes
408.71	Bellgrove Rangiora Ltd	General	Amend	<p>Delete Option A for the North East Rangiora Development Area given this option is no longer available due to the outcome of discussions with the High School. Proceed with only Outline Development Plan option B for North East Rangiora Development Area.</p> <p>Delete reference to Option A.</p> <p>Delete introduction text on the two options.</p> <p>"There are two development options for the North East Rangiora Development Area, and the realisation of one option over the other is likely to take some time and is subject to agreement between all the relevant land owners and parties involved. The key difference between the options is the exact location of the education precinct. If this shifts slightly north from its current location, as per Option A, there are implications for a number of other development features predominantly present in the western portion of the North East Rangiora Development Area. Other Outline Development Plan development features remain largely unaffected. The below sections identify where there are specifically different development outcomes under the two options."</p>	Section 6.18	Accept in part	Option A has been recommended for deletion	Yes

408.72	Bellgrove Rangiora Ltd	NER	Amend	<p>The 'Land Use' text suggests that within areas identified for 'Medium Density Residential' a minimum ratio of 70% Medium Density Residential Zone density and maximum of 30% General Residential Zone density should be achieved. Support this ratio, but consider that the labelling of this area as 'Medium Density' is confusing and visually suggests that all lots within this area on the Outline Development Plan are to be less than 500m².</p> <p>Support that where identified constraints to development are present that a reduced density of 12 households per ha is achieved. This is especially supported for areas such as the Stage 1 development where the homestead heritage item and the existing overland flow path restrict potential lot layouts. Revise the label used on the Outline Development Land Use Plan so it is clearer that within the 'Medium Density' area 30% of that area can be developed to the general residential standards.</p> <p>Amend the Land Use Plan for the North East Rangiora Outline Development Plan as per Attachment 3B (refer to full submission for map). Delete reference to a neighbourhood centre in the Land Use text.</p>	Section 6.18	Accept in part	Recommended to update the NER ODP to align with the approved Bellgrove subdivision consent ODPs.	Yes
408.73	Bellgrove Rangiora Ltd		Amend	<p>Generally support the location of the primary and secondary roads in the North East Rangiora Outline Development Movement Plan and support that this plan only shows the more significant roads for this area. However, while the specific roading classification is ultimately determined at the time of development, this has the potential to create confusion over what is meant by 'secondary road', but given this plan only identifies 'more significant roads' for the area, it is assumed that this would be designed to operate as a 'Collector Road' standard, or similar. It is also unclear what road design standards from the Transport Chapter should be applied to the formation of these roads.</p> <p>Minor amendment is sought to the alignment of the secondary road connection south-west of Devlin Avenue given it does not reflect the proposed roading layout for Bellgrove Stage 1. The secondary road connection is proposed further to the west to ensure the spacing between the intersection with Devlin Avenue complies with the minimum road intersection separation distance listed in TRAN-S2 of 125m.</p> <p>Minor amendment is also sought to the primary road connection to Golf Links Road to better reflect</p>	Section 6.18	Accept in part	Recommended to update the NER ODP to align with the approved Bellgrove subdivision consent ODPs.	Yes

				<p>the proposed layout of Bellgrove proposed for Stages 2-3. Amend the Movement Network Plan for the North East Rangiora Outline Development Plan (ODP) as per Attachment 3C (refer to full submission for attachment).</p> <p>Clarify whether 'significant' road (any road identified on an ODP) is to be classified at a minimum as a 'Collector Road'.</p>				
--	--	--	--	---	--	--	--	--

408.74	Bellgrove Rangiora Ltd		Amend	<p>Support identification of two open space areas and flexibility around exact location of open space in the North East Rangiora Outline Development Plan (ODP) - Open Space and Stormwater. Minor changes are sought to the location of the centrally located reserve to ensure it aligns with the latest development plans for the site.</p> <p>On site investigations have not identified any springs on site (within 52 Kippenberger Avenue) and these are anticipated to be downgradient of the site. The words 'springs partway along' could imply that there are springs partway along the flow paths within this area which is incorrect. Amend to make it clear that springs have only been identified in the south-east corner of the ODP area and not throughout the development area.</p> <p>Amend to note that the land between the two flow paths does not contribute runoff to both the Taranaki Stream and Cam River (this land only contributes to the Cam / Ruataniwha River).</p> <p>Support the flexibility provided that acknowledges alternative stormwater solutions could be proposed on the basis that the flow of water into the Taranaki Stream and Cam River are maintained and all future lots in the stormwater catchments can discharge into the appropriate basins. Seek the addition of the word 'generally' noting that for Stage 1 the modelling is likely to result in post flow proportions that are not exactly the same but within 5% of current flows for each flow path.</p> <p>Minor amendments are sought to the Open Space and Reserves Plan to reflect the fact that the extent of stormwater reserve required along the eastern boundary of 52 Kippenberger Avenue (Part RS 267) is greater than that shown (the indicative size shown on the notified plan is smaller than that known to be required).</p> <p>The Cam/Ruataniwha River extent shown on the ODP extends too far west. Based on site investigations the Cam/Ruataniwha River overland flow path is predominantly only present to the western boundary of 78 Kippenberger Avenue, Rangiora (Lot 1 DP 79128).</p> <p>Delete green link shown to the north of the ODP area as it does not align with any flow channel and/or proposed roading alignment. Amend the Open Space and Stormwater Reserve Plan for the North East Rangiora Outline Development Plan (ODP) as per Attachment 3D (refer to full submission for attachment).</p> <p>Reword the text as follows:</p>	Section 6.18	Accept in part	Recommended to update the NER ODP to align with the approved Bellgrove subdivision consent ODPs.	Yes
--------	------------------------	--	-------	---	--------------	----------------	--	-----

			<p>"There are two flow paths through the North East Rangiora Development Area that to the southeast form the Taranaki Stream (northern flow path) and the Cam River (southern flow path). together with springs partway along. Protection of the flow paths, their carrying capacity, and appropriate setbacks is critical in any development, in order to convey floodwater in a localised flooding event and/or Ashley River breakout. Springs, are known to be located downgradient (within the south-eastern corner of the North East Rangiora ODP area) and these, as well as any others that may be discovered in the area must identified or discovered, need to be protected and the downstream channel separated from proposed stormwater management areas.</p> <p>...</p> <p>The site is split into three stormwater catchments. For ecology reasons, it is a requirement to maintain flow quantities into waterways. Stormwater for the North East Rangiora Development Area discharges into the Taranaki Stream and Cam River. An attenuation basin is shown in the downstream southeast area of the area north of the Taranaki Stream to service the catchment north of the Taranaki Stream. Another attenuation basin is shown downstream in the south-eastern area of the Development Area to service the catchment south of the Cam River. The section of land between the two flow paths contributes runoff to the Taranaki Stream and Cam River. The catchment discharge is piped under the waterways and into the basins for the larger catchments either side of the flow paths. Two smaller stormwater basins are shown in the south-eastern corner of the Development Area to service the smaller catchments of development of properties at the eastern edge of the site along Golf Links Road. All stormwater basins for the North East Rangiora Development Area are assumed could be dry basins, allowed by well-draining land. Alternative solutions for stormwater management could be proposed, provided the flow of water into the Taranaki Stream and Cam River are generally maintained and all future lots in the stormwater catchments can discharge into the appropriate basins."</p>				
--	--	--	--	--	--	--	--

408.75	Bellgrove Rangiora Ltd		Amend	<p>The new pump station required to serve the North-East Rangiora development area referred to in the south-eastern corner of the site is incorrectly shown on Golf Links Road near the intersection with Rangiora Woodend Road. Instead this will be located within 52 Kippenberger Ave (Part RS 267) and established as part of Stage 1 of Bellgrove just to the north of Kippenberger Avenue (west off the intersection with Devlin Avenue).</p> <p>The notified water and wastewater plan requires an update to reflect the proposed Stage 1 utility layout (based off the proposed subdivision road layout). The proposed new water main shown through the golf course (85 Golf Links Road /RS 41080) should be deleted and amended by the marked up plan enclosed to demonstrate how development of this Outline Development Plan area can occur without being reliant on works within this land.</p> <p>A minor amendment is sought to the text in the last paragraph. Instead of the wastewater being pumped into a new rising main to Northbrook Road it will be pumped directly from the pump station to the Southbrook Wastewater Treatment Plant. Amend the Water and Wastewater Plan for the North East Rangiora Outline Development Plan as per Attachment 3E (refer to full submission for attachment).</p> <p>Amend the text:</p> <p>"A third large catchment to the east of the Development Area requires a new pump station at the south-eastern point of the Development Area which will pump from there direct and pumped into a new rising main to Northbrook Road, where it would join onto a rising main to the treatment plant."</p>	Section 6.18	Accept in part	Recommended to update the NER ODP to align with the approved Bellgrove subdivision consent ODPs.	Yes
408.76	Bellgrove Rangiora Ltd		Amend	<p>Several improvements and subtle changes are sought to the notified Outline Development Plan. Also, Option A is no longer required and should be deleted to reduce confusion and improve readability. Delete Outline Development Plan Option A.</p> <p>If Option A is to be retained, then amend the overall plans for Option A and B as per Attachment 3A (refer to full submission for attachment).</p>	Section 6.18	Accept in part	Recommended to update the NER ODP to align with the approved Bellgrove subdivision consent ODPs.	Yes

408.77	Bellgrove Rangiora Ltd		Amend	<p>The location for the medium density and general residential development should not be a fixed feature, enabling the developer to determine where the different densities of residential development are best placed within the site. This is in accordance with the amendments sought to the plan for these to be superseded as a general 'residential' area. All Outline Development Plan text should refer to the commercial centre being a 'local centre' for consistency.</p> <p>Reference to an Option A and Option B land use outcome should be deleted (all Option B plans should simply be referred to as the plan). Ensure the commercial centre within the North East Rangiora Outline Development Plan is referred to as a local centre.</p> <p>Reword the 'Fixed Outline Development Plan Features for the North East Rangiora Development Area' text to be:</p> <p>"Location of a concentration of medium density residential activity (meaning a minimum ratio of 70% medium density residential zone density and a maximum 30% general residential zone density) in the southwest of the Outline Development Plan (Option A) or south of the Outline Development Plan (Option B) as well as immediately adjacent to the local/neighbourhood centre</p> <p>...</p> <p>Location of the local/neighbourhood centre at the north/south road corridor, in proximity to a flow path</p> <p>..."</p>	Section 6.18	Accept in part	Recommended to update the NER ODP to align with the approved Bellgrove subdivision consent ODPs.	Yes
408.78	Bellgrove Rangiora Ltd		Amend	<p>Generally supportive of DEV-NER-R1 following certification. Retain DEV-NER-R1 as notified.</p>	Section 6.18	Accept		No

408.79	Bellgrove Rangiora Ltd		Amend	Generally supportive DEV-NER-R2 following certification.Retain DEV-NER-R2 as notified.	Section 6.18	Accept		No
408.80	Bellgrove Rangiora Ltd		Amend	Generally supportive of DEV-NER-R3 following certification, including the identification that the proposed commercial lot will be subject to the Local Centre Zone provisions.Retain DEV-NER-R3 as notified.	Section 6.18	Accept		No
408.81	Bellgrove Rangiora Ltd		Amend	Generally supportive of DEV-NER-R4 following certification.Retain DEV-NER-R4 as notified.	Section 6.18	Accept		No
408.82	Bellgrove Rangiora Ltd		Amend	Generally supportive of DEV-NER-R5 following certification.Retain DEV-NER-R5 as notified.	Section 6.20	Accept		No

408.83	Bellgrove Rangiora Ltd		Amend	Generally support DEV-SER-O1, but note medium density rules are referred to once the development is certified so should also be referred to in DEV-SER-P2 (1).Amend DEV-SER-P2: "... 1. after certification by the District Council's Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General Residential Zone, Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions ..."	Section 6.20	Accept in part	Amendments have been recommended to the certification process	Yes
408.84	Bellgrove Rangiora Ltd		Amend	Generally support DEV-SER-P1, but note medium density rules are referred to once the development is certified so should also be referred to in DEV-SER-P2 (1).Amend DEV-SER-P2: "... 1. after certification by the District Council's Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General Residential Zone, Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions ..."	Section 6.20	Accept in part	Amendments have been recommended to the certification process	Yes
408.85	Bellgrove Rangiora Ltd		Amend	Generally support DEV-SER-P2, but note medium density rules are referred to once the development is certified so should also be referred to in DEV-SER-P2 (1).Amend DEV-SER-P2: "... 1. after certification by the District Council's Chief Executive Officer or their delegate, it is in accordance with the objectives, policies and rules of the General Residential Zone, Medium Density Residential Zone, Local Centre Zone and the relevant District wide provisions ..."	Section 6.20	Accept in part	Amendments have been recommended to the certification process	Yes
408.86	Bellgrove Rangiora Ltd		Amend	Support certification process and criteria in DEV-SER-S1, including the advice note DEV-SER-AN1 which clarifies that the certification process can apply in whole or part to the development area. Clarify clause (2) to ensure that as per the advice note (that certification can occur in part) that likewise the s.224 process can also occur in part, as concerned certification could lapse which would require landowner to make a fresh essentially duplicate application for another certification causing unnecessary delay and expense. Question relevance of clause (1) given any development would help contribute to additional	Section 6.20	Accept in part	Amendments have been recommended to the certification process	Yes

				residential capacity to help achieve projected total residential demand. Amend DEV-SER-S1: "... 2. If a s224 certificate under the RMA has not been granted by the District Council within three years of the date of certification, certification shall cease to apply. For clarity s.224 certificates can be sought in part."				
408.87	Bellgrove Rangiora Ltd		Amend	Amend 'Appendix DEV-SER-APP1 - South East Rangiora Outline Development Plan- Land Use'. Extent of the development area needs to be altered to capture the full extent of Bellgrove South by including the whole of Lot 2 DP 452196 in the development area. Support that overall, the development area shall achieve a minimum residential density of 12 households per ha. Support flexibility that areas of medium density development will be determined based on layout and market demand provided an overall density outcome of 12 households per ha is achieved. To further assist this flexibility seek that residential areas be labelled 'Residential' as opposed to 'General Residential' and/or 'Medium Density'. Amend 'Appendix DEV-SER-APP1 - South East Rangiora Outline Development Plan- Land Use': Delete 'General' and 'Medium' density instead referring to all residential areas as 'Residential'. Include the entire extent of Lot 2 DP 452196 in the ODP area. Amend the Land Use Plan for the South East Rangiora ODP as per Attachment 4B (refer to full submission for attachment). Delete reference to a neighbourhood centre.	Section 6.20	Reject	Map A CRPS defines the future development areas for the district and the PDP gives effect to this	No
408.88	Bellgrove Rangiora Ltd		Amend	Provision of both a primary road and a secondary road for the northern portion of the South-East Rangiora Outline Development Plan area is not efficient. Instead a single primary road (with cycleway) that runs as an extension to Devlin Avenue would be more appropriate. While the specific roading classification is ultimately determined at the time of development so as to provide flexibility and the ability to match the eventual roading classification made operative through the Proposed District Plan, this has the potential to create confusion over what is meant by 'secondary road'. Given this plan only identifies 'more significant roads' for the area, it is assumed that this would be designed to a 'Collector Road' standard, or similar.	Section 6.20	Accepted in part	The cycleway is not a secondary road, it is a cycleway within a greenspace/buffer corridor, so does not impose an additional roading burden on the developer	No

				Unclear how the road design standards in the Transport Chapter will be applied to the formation of these roads. Amend the Movement Network Plan for the South East Rangiora Outline Development Plan (ODP) as per Attachment 4C (refer to full submission for attachment). Clarify that 'significant' road (any road identified on an ODP) is to be classified at a minimum as a 'Collector Road'.				
408.89	Bellgrove Rangiora Ltd		Amend	Extent of the development area needs to be altered to capture the full extent of Bellgrove South by including the whole allotment of 74 Northbrook Road in the development area (Lot 2 DP 452196). Support acknowledgement that the open space reserve shown north of a Galatos Street extension is flexible dependent on the final subdivision layout design. Support that the stormwater solutions reserves shown are 'indicative' in size given substantially more design work is required to confirm extents and appropriate suitable locations within this area. Amend the Open Space and Stormwater Reserve Plan for the South East Rangiora Outline Development Plan to include the full extent of 74 Northbrook Road, Rangiora (Lot 2 DP 452196) as per Attachment 3E (refer to full submission for attachment).	Section 6.20	Accept in part		No
408.90	Bellgrove Rangiora Ltd		Amend	The location of the pump station near the intersection with Golf Links Road / Rangiora Woodend Road / Kippenberger Avenue is incorrect and needs to be updated to reflect the location proposed within Bellgrove Stage 1. The location of the new pump station on Northbrook Road should be moved to the north-west as it will largely service Bellgrove South. The new watermain should be aligned in accordance with the requested changes to the movement plan (i.e. be aligned with the realigned primary road and cycleway as shown in Attachment 4C (refer to full submission)). Amend the Water and Wastewater Network Plan for the South East Rangiora Outline Development Plan as per Attachment 4D (refer to full submission for attachment).	Section 6.20	Accept in part		Yes

408.91	Bellgrove Rangiora Ltd		Amend	Several improvements and subtle changes are sought to the notified Outline Development Plan. Amend the overall plan for the South-East Rangiora Outline Development Plan area as per Attachment 4A (refer to full submission for attachment).	Section 6.20	Accept in part		No
408.92	Bellgrove Rangiora Ltd		Amend	Support the location of a new/south road connecting Kippenberger Avenue with Northbrook Road. Seek the removal of the extension of Devlin Avenue as per changes sought to the movement plan (refer to full submission for Attachment 4C). Amend the 'Fixed Outline Development Plan Features for the South East Rangiora Development Area': "Extension of Devlin Avenue with an adjoining green link containing a cycleway Extension of Spark Lane to connect to Boys Road with adjoining green link containing a cycleway Location of new north/south road connecting Kippenberger Avenue with Northbrook Road Realignment of Northbrook Road to cross Devlin Avenue extension and connect to the new north/south road east of Devlin Avenue Cycleways at Northbrook Road, Devlin Avenue, and Spark Lane Location of flow paths and adjoining green links, cycleways, and required water body setbacks"	Section 6.20	Accept in part		No
408.93	Bellgrove Rangiora Ltd		Support	Support DEV-SER-R1. Retain DEV-SER-R1 as notified.	Section 6.20	Accept		No

408.94	Bellgrove Rangiora Ltd		Support	Support DEV-SER-R2.Retain DEV-SER-R2 as notified.	Section 6.20	Accept		No
408.95	Bellgrove Rangiora Ltd		Support	Support DEV-SER-R3.Retain DEV-SER-R3 as notified.	Section 6.20	Accept		No
408.96	Bellgrove Rangiora Ltd		Support	Support DEV-SER-R4.Retain DEV-SER-R4 as notified.	Section 6.20	Accept		No
408.97	Bellgrove Rangiora Ltd	General	Support	Support DEV-SER-R5.Retain DEV-SER-R5 as notified.	Section 6.20	Accept		No

409.1	Macrae Land Company		Amend	Submitter seeks amendments to the Mill Road Development Area Built Form Standard 1 (DEV-MILL-BFS1) to enable the efficient development of this area, including by ensuring there is clarity in the applicable provisions. The Mill Road Development Area was originally introduced through a private plan change which included a detailed Outline Development Plan (ODP) and site specific zone rules. Since the plan change was approved the Ohoka area has changed, with an increase in residential development. As such, a number of the provisions rolled over for the Mill Road Development Area from the Operative District Plan create constraints or additional costs to development which are no longer necessary or appropriate to manage effects. Submitter recommends an amendment to the built form standards for site density (DEV-MILL-BFS1) and the ODP to provide that the Area A minimum lot size is 5,000m ² and the Area B minimum lot size is 2,500m ² . The submitter states there is no reason to distinguish the lot sizes within the Mill Road Development Area from the rest of the Large Lot Residential Zone, and there are similar minimum lot sizes across Ohoka, including within the adjacent Bradleys Road Development Area. The change will not increase overall density across the Development Area. Additionally, the proposed changes will also assist the council in carrying out its statutory duties under the Resource Management Act 1991 (RMA), the National Policy Statement for Urban Development, the Canterbury Regional Policy Statement, meet the requirements of section 32 of the RMA, and promote the sustainable management and efficient use of natural and physical resources in accordance with Part 2 of the RMA. Amend DEV-MILL-BFS1: (and the Outline Development Plan)	Section 6.10	Deferred to rezoning hearing 12		No
FS 116	FS Simon Higgs		Support					
FS 113	FS Wayne Godfrey	General	Support					

409.2	Macrae Land Company		Amend	<p>Submitter states the Proposed District Plan lacks clarity as to the dual application of the Large Lot Residential Zone (LLRZ) and Mill Road Development Area (MILL) provisions, and does not contain confirmation that the MILL provisions prevail in the event that the provisions are inconsistent (for example, in relation to site density). Seeks such amendments as necessary to confirm that the LLRZ provisions apply, except where inconsistent with the MILL provisions. These changes will assist the Council in carrying out its statutory duties under the Resource Management Act 1991 (RMA), the National Policy Statement for Urban Development, the Canterbury Regional Policy Statement, meet the requirements of Section 32 of the RMA, and promote the sustainable management and efficient use of natural and physical resources in accordance with Part 2 of the RMA. Submitter seeks such amendments as necessary to confirm that the Large Lot Residential Zone provisions apply, except where inconsistent with the MILL provisions.</p> <p>Requests the provisions in the Proposed District Plan (PDP) be amended as set out in the submission and such other relief as may be required to give effect to this submission, including alternative or further amendments to objectives, policies, rules and definitions of the PDP that address the matters raised by the submitter.</p>	Section 6.10	Reject	Reject	No
FS 116	FS Simon Higgs		Support					
FS 113	FS Wayne Godfrey	General	Support					
409.3	Macrae Land Company		Amend	<p>Submitter states the Proposed District Plan lacks clarity as to the dual application of the Large Lot Residential Zone (LLRZ) and Mill Road Development Area (MILL) provisions, and does not contain confirmation that the MILL provisions prevail in the event that the provisions are inconsistent (for example, in relation to site density). Seeks such amendments as necessary to confirm that the LLRZ provisions apply, except where inconsistent with the MILL provisions. These changes will assist the Council in carrying out its statutory duties under the Resource Management Act 1991 (RMA), the National Policy Statement for Urban Development, the Canterbury Regional Policy Statement, meet the requirements of Section 32 of the RMA, and promote the sustainable management and efficient use of natural and physical resources in accordance with Part 2 of the RMA. Submitter seeks such amendments as necessary to confirm that the Large Lot Residential Zone provisions apply, except where inconsistent with the MILL provisions.</p>	Section 6.10	Deferred to rezoning hearing 12		No

				Requests the provisions in the Proposed District Plan (PDP) be amended as set out in the submission and such other relief as may be required to give effect to this submission, including alternative or further amendments to objectives, policies, rules and definitions of the PDP that address the matters raised by the submitter.				
FS 116	FS Simon Higgs		Support					
FS 113	FS Wayne Godfrey	General	Support					

412.24	Templeton Group	DEV-PEG-R7	Oppose	<p>Concerned that DEV-PEG-APP1, Pegasus Outline Development Plan (ODP) does not include any commercial areas and the residential area outline is difficult to read.</p> <p>Understand the matters contained in the ODP for the Pegasus Township Development area have already been given effect to, thus the ODP should be deleted. However, many provisions are tied to the ODP framework and ambiguity exists for new development.</p> <p>Some rules currently attached to the ODP are still required and these should be relocated to Part 2 District-wide matters and Part 3 Area specific matters as appropriate. Delete PEG - Pegasus Township Development Area Chapter in its entirety.</p> <p>Amend objectives, policies and rules as required to ensure the absence of an Outline Development Plan (ODP) does not prejudice development of the Local Centre Zone.</p> <ul style="list-style-type: none"> - Relocate DEV-PEG-BFS1 to Medium Density Residential Zone Chapter. - If required, relocate DEV-PEG-R4, R5 and R6 to Part 2 District-wide matters and Part 3 Area specific matters as appropriate. - Include an associated diagram showing where the above rules apply at Pegasus. <p>Alternatively, clarify the location of the commercial areas within the ODP and the location of the residential area outline.</p>	Section 6.16	Accept in part	The Pegasus ODP will be updated to include the residential and commercial areas	Yes
412.25	Templeton Group	DEV-KLFR-R1	Oppose	<p>Amend wording of DEV-PEG-R7 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and Local Centre Zone, is unclear and confusing. Amend wording of the advisory note to state which provisions are being replaced by other provisions.</p>	Section 6.16	Accept	Advisory note has been amended to improve clarity	Yes
412.30	Templeton Group	DEV-NWR-R1	Oppose	<p>Amend the wording of DEV-KLFR-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.</p>	Section 6.6	Accept in part	Advisory note has been amended to improve clarity	Yes

412.31	Templeton Group	DEV-SBT-R2	Oppose	Amend the wording of DEV-NWR-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.4	Accept in part	Advisory note has been amended to improve clarity	Yes
412.32	Templeton Group	DEV-OHOKA-R1	Oppose	Amend the wording of DEV-SBT-R2 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.5	Accept in part	Advisory note has been amended to improve clarity	Yes
412.33	Templeton Group	DEV-WKP-R3	Oppose	Amend the wording of DEV-OHOK-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions. i. Density Area A shall achieve a minimum allotment size of no less than 1ha 5,000m ² ii. Density Area B shall achieve a minimum allotment size of no less than 4000m ² 2,500m ² ...	Section 6.7	Accept	Advisory note has been amended to improve clarity	Yes
412.34	Templeton Group	EKP-East Kaiapoi	Oppose	Amend the wording of DEV-WKP-R3 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.8	Accept	Advisory note has been amended to improve clarity	Yes
412.35	Templeton Group	DEV-MILL-R1	Oppose	Amend the wording of DEV-EKP-R3 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.9	Accept	Advisory note has been amended to improve clarity	Yes
412.36	Templeton Group	DEV-NWD-R1	Oppose	Amend the wording of DEV-MILL-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the	Section 6.10	Accept	Advisory note has been amended to improve clarity	Yes

				advisory note to state which provisions are being replaced by other provisions.				
412.37	Templeton Group	DEV-SBK-R1	Oppose	Amend the wording of DEV-NWD-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.11	Accept	Advisory note has been amended to improve clarity	Yes
412.38	Templeton Group	DEV-EWD-R1	Oppose	Amend the wording of DEV-SBK-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.12	Accept	Advisory note has been amended to improve clarity	Yes
412.39	Templeton Group	DEV-NRG-R2	Oppose	Amend the wording of DEV-EWD-R1 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.13	Accept	Advisory note has been amended to improve clarity	Yes
412.41	Templeton Group	DEV-MPH-R3	Oppose	Amend the wording of DEV-NRG-R2 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.15	Accept	Advisory note has been amended to improve clarity	Yes
412.40	Templeton Group	General	Oppose	Amend the wording of DEV-MPH-R3 Advisory Note to clarify which provisions are intended to be replaced. The wording of the advisory note in a number of locations including in the Pegasus Outline Development Plan and the Local Centre Zone, is unclear and confusing. Amend the wording of the advisory note to state which provisions are being replaced by other provisions.	Section 6.14	Accept	Advisory note has been amended to improve clarity	Yes

413.1	Bellgrove Rangiora Ltd	General	Amend	<p>Submitter requests that the submission points referred to in their first submission [408] also apply to the Accessway Land which forms part of 78 Kippenberger, to the extent that those submission points are relevant to the Accessway Land. Submitter has plans to develop the 100ha as a residential development known as 'Bellgrove', and considers the proposed certification process will not enable timely subdivision and development of land and seeks it is zoned for residential development. Requests the following decision:</p> <p>(a) The Proposed District Plan (PDP) is rejected in its current form or</p> <p>(b) that the provisions be amended to reflect the issues raised in this submission and in particular that:</p> <ol style="list-style-type: none"> 1. The submission points referred to in the first submission [408] also apply to the Accessway Land, which forms part of 78 Kippenberger, to the extent that those submission points are relevant to the Accessway Land 2. Such other relief as may be required to give effect to this submission, including alternative or necessary amendments to the PDP that address the matters raised by the submitter. 	Section 6.18	Reject	This development has already occurred on the submitters' former land, under the covid-19 fast track process.	Yes
-------	------------------------	---------	-------	---	--------------	--------	--	-----

Variation 1 Submissions

Submitter No	Submitter Name	Provision	Sentiment	Decision Requested	Section of this Report where Addressed	Officer's Recommendation	Officers' Reasons/Comments	Recommended Amendments to Variation 1 ?
57.4	Dalkeith Holdings Ltd	DEV-SWR-R1	Amend	Opposes the certification process as it is an uncertain and unproven method for delivering land for housing when there is an urgent need to address the supply shortfall. Considers Council must instead rezone land to address the shortfall in housing supply quickly and with certainty. Notes this submission should be read alongside the submitter's submission on the Proposed District Plan, except where this submission provides an update of the relief sought. Delete, or alternatively amend, the certification provisions so that it is a fair, equitable, transparent, appealable, efficient and fast process for delivering land for housing and does not duplicate matters that can be dealt with at subdivision stage; and addresses any other future concerns with certification.	Section 6.2	Accept in part	The certification process has been redefined as a 'certification consent', which is a s9 land use and s11 subdivision consent relaxing the rural lifestyle zone subdivision provisions if the tests in the DEV rules are met	No
58.10	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd	General	Oppose	Oppose the activity status of Rule DEV-SWR-R1 as a Permitted Activity. Oppose this activity classification on the basis that development is in accordance with an outline development plan and it is typically undertaken at the time of subdivision with road and reserve vesting, and site layout design guided by the outline development plan as a Controlled Activity. A change from Permitted Activity to Controlled Activity status would better align the subdivision amendments requested. Amend DEV-SWR-R1: Activity status: PER CON Where: 1. development shall be in accordance with DEV-SWR-APP1. Activity status when compliance not achieved: DIS	Section 6.17	Accept in part	The certification process has been redefined as a 'certification consent', which is a s9 land use and s11 subdivision consent relaxing the rural lifestyle zone subdivision provisions if the tests in the DEV rules are met. It is still a permitted activity, however this is respect of enabling the later subdivision consents, which are a controlled activity	No
58.11	199 Johns Road Ltd, Carolina Homes Ltd, Carolina Rental Homes Ltd, Allan Downs Ltd	DEV-SWR-R1	Oppose	Oppose the inclusion of Fixed outline development plan features that specifically relate to the wider West Rangiora development area which is not being specified as an Existing development Area. Oppose this on the basis that the location of medium density over the whole site and specific locations for some required features (E.g Oxford Road, Lehmans Road, stormwater corridor to the east, etc) are outside of the outline development plan area and are not relevant to the subject site. - Oppose the inclusion of the outline development plan for West Rangiora in its current form as it creates an inconsistency with the current South West Rangiora outline development Plan. Not specified.	Section 6.17	Reject	The West Rangiora ODP applies to just area outlined in the ODP. The wider area does not have an ODP, and if and when it receives an ODP, that ODP will apply accordingly.	No

59.10	Eliot Sinclair	General	Oppose	<p>Oppose the activity status of Rule DEV-SWR-R1 as a Permitted Activity. Oppose this activity classification on the basis that development is in accordance with an outline development plan and it is typically undertaken at the time of subdivision with road and reserve vesting, and site layout design guided by the outline development plan as a Controlled Activity.</p> <p>A change from Permitted Activity to Controlled Activity status would better align the subdivision amendments requested. Amend DEV-SWR-R1:</p> <p>Activity status: PER CON Where: 1. development shall be in accordance with DEV-SWR-APP1. Activity status when compliance not achieved: DIS</p>		Accept in part	<p>Maybe needed, as when turning the notified certification provisions into certification consents the 'certification' process is replaced by a consent process, which requires a reconsideration of activity status. The rules become the test, so the activity status will need to change.</p>	No
59.11	Eliot Sinclair	General	Oppose	<p>- Oppose the inclusion of Fixed outline development plan features that specifically relate to the wider West Rangiora development area which is not being specified as an Existing Development Area.</p> <p>Oppose this on the basis that the location of medium density over the whole site and specific locations for some required features (E.g Oxford Road, Lehmans Road, stormwater corridor to the east, etc) are outside of the outline development plan area and are not relevant to the subject site.</p> <p>- Oppose the inclusion of the Outline Development Plan for West Rangiora in its current form as it creates an inconsistency with the current South West Rangiora Outline Development Plan. Not specified</p>	Section 6.17	Reject	<p>The West Rangiora ODP applies to just area outlined in the ODP. The wider area does not have an ODP, and if and when it receives an ODP, that ODP will apply accordingly.</p>	No

61.2	Richard and Geoff Spark	General	Amend	<p>Supports South East Rangiora Development Area (DEV-SER) in principle, however considers references to the feasibility of development within the DEV-SER narrative are inappropriate and should be removed as nearby developments have been successful with similar ground conditions, and market prices also affect feasibility.</p> <p>Opposes the certification process given its uncertainty, highly discretionary nature, lack of applicant objection or appeal rights, and potential lack of transparent documentation of its decision-making process. Considers Council must instead rezone land to address the shortfall in housing supply quickly and with certainty. Council needs to meet its requirements under the National Policy Statement on Urban Development (NPS-UD) and Canterbury Regional Policy Statement (CRPS) of providing sufficient development capacity that is zoned and infrastructure ready to meet housing demand for the medium term; certification will not achieve this. Concerned that certification lapses if a Section 224(c) (Resource Management Act 1991) subdivision completion certification is not granted within three years of certification. Rezoning would only occur when the entire development area is rezoned, which may not be within the life of the Proposed District Plan. Concerned that the ability to meet the subdivision 'completion' requirement by completing a smaller subdivision is not suitable as the subdivision would be hardly underway, yet services would be allocated to potentially a significant area indefinitely, which may prejudice other subdividers if there are capacity constraints. Considers there is a lack of clarity about how services will be allocated between different certification applicants.</p> <p>This aligns with the submitter's request to rezone an area of land (approximately 56ha) located north and south of Boys Road, Rangiora from Rural Lifestyle Zone to Medium Density Residential Zone to provide approximately 836 lots, which is needed to help provide sufficient development capacity for residential development to meet anticipated demand, and therefore help meet the requirements of the CRPS and NPS-UD.</p> <p>Notes this submission should be read alongside the submitter's submission on the Proposed District Plan, except where this submission provides an update to the relief sought. Amend the South East Rangiora Outline Development Plan and associated narrative to identify all residential areas as Medium Density Residential; and give effect to the other amendments to the South East Rangiora Outline Development Plan sought in the</p>	Section 6.17	Accept in part	<p>The certification process has been redefined as a 'certification consent', which is a s9 land use and s11 subdivision consent relaxing the rural lifestyle zone subdivision provisions if the tests in the DEV rules are met</p>	
------	-------------------------	---------	-------	---	--------------	----------------	---	--

				<p>submitter's submission on the Proposed District Plan shown in Figure 3 (refer to full submission for Figure 3).</p> <p>Delete the certification process, or in the less preferred alternative amend to ensure that it is a lawful, fair, equitable, transparent, appealable, efficient and fast process for delivering land for housing and does not duplicate matters than can be dealt with at subdivision stage; and addresses any other future concerns.</p>				
--	--	--	--	---	--	--	--	--

61.3	Richard and Geoff Spark	DEV-WR-R1	Oppose	<p>Opposes the certification process given its uncertainty, highly discretionary nature, lack of applicant objection or appeal rights, and potential lack of transparent documentation of its decision-making process. Considers Council must instead rezone land to address the shortfall in housing supply quickly and with certainty. Council needs to meet its requirements under the National Policy Statement on Urban Development (NPS-UD) and Canterbury Regional Policy Statement (CRPS) of providing sufficient development capacity that is zoned and infrastructure ready to meet housing demand for the medium term; certification will not achieve this. Concerned that certification lapses if a Section 224(c) (Resource Management Act 1991) subdivision completion certification is not granted within three years of certification. Rezoning would only occur when the entire development area is rezoned, which may not be within the life of the Proposed District Plan. Concerned that the ability to meet the subdivision 'completion' requirement by completing a smaller subdivision is not suitable as the subdivision would be hardly underway, yet services would be allocated to potentially a significant area indefinitely, which may prejudice other subdividers if there are capacity constraints. Considers there is a lack of clarity about how services will be allocated between different certification applicants.</p> <p>This aligns with the submitters request to rezone an area of land (approximately 56ha) located north and south of Boys Road, Rangiora from Rural Lifestyle Zone to Medium Density Residential Zone to provide approximately 836 lots, which is needed to help provide sufficient development capacity for residential development to meet anticipated demand, and therefore help meet the requirements of the CRPS and NPS-UD.</p> <p>Notes this submission should be read alongside the submitter's submission on the Proposed District Plan, except where this submission provides an update to the relief sought. Delete the certification process, or as a less preferred alternative amend the certification process to ensure that is a lawful, fair, equitable, transparent, appealable, efficient and fast process for delivering land for housing and does not duplicate matters than can be dealt with at subdivision stage; and addresses any other future concerns.</p>	Section 6.2	Accept in part	The certification process has been redefined as a 'certification consent', which is a s9 land use and s11 subdivision consent relaxing the rural lifestyle zone subdivision provisions if the tests in the DEV rules are met	
------	-------------------------	-----------	--------	--	-------------	----------------	--	--

76.2	M and J Schluter		Support	In the proposed 'Activity Rules - if certification has been approved', support the proposed amendments to rule 'DEV-WR-R1 Activities provided for in General Residential Zone'.Retain the proposed amendments to rule 'DEV-WR-R1 Activities provided for in General Residential Zone'.	Section 6.2	Accept in part	If Variation 1 is retained, then the amendments to DEV-WR introduced by V1 will be retained, if not, then DEV-WR would revert to the PDP version, which references the general residential zone standards but DEV-WR-R2 would remain referencing the PDP Medium Density Residential Zone. Either way, the outcome for the submitter is the same	
FS 19	FS R J Paterson Family Trust	DEV-WR-R21	Support			Accept		
76.3	M and J Schluter		Support	Support rule 'DEV-WR-R2 Activities provided for in Medium Density Residential Zone' (renumbered as a consequence of proposed amendments to rule 'DEV-WR-R1 Activities provided for in General Residential Zone').Retain rule 'DEV-WR-R2 Activities provided for in Medium Density Residential Zone'.	Section 6.17	Accept in part	If Variation 1 is retained, then the amendments to DEV-WR introduced by V1 will be retained, if not, then DEV-WR would revert to the PDP version, which references the general residential zone standards but DEV-WR-R2 would remain referencing the PDP Medium Density Residential Zone. Either way, the outcome for the submitter is the same	
FS 19	FS R J Paterson Family Trust	DEV-SWR-APP1	Support			Accept		
80.59	Kainga Ora - Homes and Communities		Support	Support the new MRZ within the SWR Development Area but note that there are discrepancies between the extent of the MRZ area shown on the ODP and the underlying zone maps.Amend zoning maps or ODP to address inconsistencies.	Section 6.17	Accept in part	The ODP was developed before the RMAEHA, and the areas of general residential in the ODPs are now medium density residential. These will be updated prior to final plan publication	
FS 19	FS R J Paterson Family Trust	General	Support			Accept		
80.60	FS R J Paterson Family Trust		Support	Support the new MRZ within the NER Development Area but note that there are discrepancies between the extent of MRZ area shown on the ODP and the underlying zone maps.Amend zoning maps or ODP to address inconsistencies.	Section 6.20	Accept in part	The ODP was developed before the RMAEHA, and the areas of general residential in the ODPs are now medium density residential. These will be updated prior to final plan publication	

Appendix C. Report Author's Qualifications and Experience

Peter Wilson

I hold the following qualifications:

- Master of Planning (MPlan) and Bachelor of Physical Geography (BSc) from the University of Otago.

I am an intermediate member of the New Zealand Planning Institute.

I am a certified hearings commissioner.

I have 18 years' experience in working as a planner for local, central government, private consultancy, and a range of non-government organisations.

My work experience includes:

- Statutory, RMA, and recreation planning for the Department of Conservation.
- Consent planning for the Waitaki District Council.
- Extensive affected party, policy planning, Environment Court case management and litigation, central government liaison, and freshwater science experience with regional Fish and Game Councils and the New Zealand Fish and Game Council.
- Principal advisor (water) for Federated Farmers of New Zealand.
- Private consultancy, primarily on conservation and recreation planning issues to a range of non-government organisation and trust clients.
- Private aquaculture and geospatial businesses.

I have worked on planning matters across all New Zealand.

I have been employed by the Waimakariri District Council between August 2022 and January 2024 as a senior planner and since January 22 2024 as a principal planner.

Conflict of interest statement

In my role at Federated Farmers of New Zealand, I was the primary author of its submission on the PDP. I understand that this is a potential conflict of interest that requires declaration. Whilst I have no direct interest or benefit or gain from the outcome of the submission, not being from a farming background and also being a new resident to the district (and region) since employment by Council, I have undertaken to:

- a) Not be the reporting officer on the rural chapter
- b) Ensuring that any other work that handles the Federated Farmers submission is checked and reviewed.
- c) Not participating in consultation and engagement with Federated Farmers, except with another staff member present.

I notified my employer, the Waimakariri District Council, of this prior to employment.